EUCLID TOWNHOMES

922 EUCLID AVENUE, SALT LAKE CITY, UT 84104

15 MARCH 2024

CONSTRUCTION **DOCUMENTS**



CONSULTANTS

LANDSCAPE WARD ENGINEERING GROUP WARD ENGINEERING GROUP 231 WEST 800 SOUTH SUITE A 231 WEST 800 SOUTH SUITE A SALT LAKE CITY, UTAH, 84101 SALT LAKE CITY, UTAH, 84101 AJ SHAFFER AJ SHAFFER PHONE 801.487.8040 PHONE 801.487.8040 ashaffer@wardeg.com ashaffer@wardeg.com

STRUCTURAL

MJ STRUCTURE ENGINEERS 5673 S REDWOOD RD. TAYLORSVILLE, UT, 84123 BRENDON HAYWOOD PHONE 801.905.1097 bhaywood@mjstructuralengineers.com MECHANICAL, PLUMBING, & ELECTRICAL

DESIGN-BUILD

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GENERAL SHEETS

COVER SHEET CODE COMPLIANCE & GENERAL DRAWING INFORMATION

WALL TYPES FIRE PENETRATIONS AND JOINT DETAILS

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DEMOLITION PLAN

SITE PLAN

UTILITY PLAN

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LANDSCAPE

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SCHEDULES SCHEDULES

FOOTING AND FOUNDATION DETAILS

FLOOR FRAMING DETAILS ROOF FRAMING DETAILS

233 SOUTH PLEASANT GROVE BLVD. SUITE #105 PLEASANT GROVE, UTAH 84062 PHONE: (801) 769-3000 core@corearch.com

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CONSULTANT INFORMATION

NHOWES

REVISIONS DATE △ DESCRIPTION PROJECT INFORMATION DATE: 15 MARCH 2024 PROJECT #:

> DRAWING SET STATUS CONSTRUCTION

DOCUMENTS THIS DRAWING SET IS INTENDED

PM / PA:

TO BE PRINTED IN COLOR

COVER SHEET

SHEET NUMBER G000

DESIGN CRITERIA

ACCESSIBILITY:

EMERGENCY ESCAPE:

1 OPERABLE RESCUE OPENING REQUIRED IN EVERY SLEEPING ROOM. 5.7 SF MINIMUM CLEAR OPENING WITH 24" MINIMUM IN HEIGHT AND 20" MINIMUM IN WIDTH AND 44" MAXIMUM SILL HEIGHT ABOVE FINISHED

ROOF COVERING CLASSIFICATION: C (IRC 302.2.2.2(EXCEPTION)).

NOT REQUIRED

FLOOR.

THESE DOCUMENTS ARE INTENDED FOR PROJECT NEGOTIATION BETWEEN A SINGLE GENERAL CONTRACTOR AND OWNER. THESE DOCUMENTS ARE NOT INTENDED TO BE USED FOR COMPETITIVE BIDDING BY MULTIPLE GENERAL CONTRACTORS.

THE ARCHITECT WILL CLARIFY INFORMATION WITHIN THESE DOCUMENTS FOR A SINGLE OWNER-SELECTED GENERAL CONTRACTOR ONLY. REQUESTS FOR CLARIFICATION SHALL BE DIRECTED TO CORE ARCHITECTURE BY THE GENERAL CONTRACTOR. CALLS FROM SUBCONTRACTORS WILL BE REFERRED TO THE GENERAL CONTRACTOR.

SPECIAL INSPECTIONS

SPECIAL INSPECTIONS SHALL BE PROVIDED BY THE OWNER IN ACCORDANCE WITH 2021 INTERNATIONAL BUILDING CODE CHAPTER 17.

THE SPECIAL INSPECTOR SHALL BE A QUALIFIED PERSON WHO SHALL DEMONSTRATE COMPETENCE, TO THE SATISFACTION OF THE BUILDING OFFICIAL, FOR INSPECTION OF THE PARTICULAR TYPE OF CONSTRUCTION OR OPERATION REQUIRING SPECIAL INSPECTION.

THE SPECIAL INSPECTOR SHALL OBSERVE THE WORK ASSIGNED FOR CONFORMANCE WITH THE APPROVED PLANS AND SPECIFICATIONS.

THE SPECIAL INSPECTOR SHALL FURNISH INSPECTION REPORTS TO THE OWNER, THE BUILDING OFFICIAL, THE ARCHITECT OF RECORD, THE ENGINEER OF RECORD, AND TO THE CONTRACTOR. ALL DISCREPANCIES SHALL BE BROUGHT TO THE IMMEDIATE ATTENTION OF THE CONTRACTOR FOR CORRECTION, THEN, IF UNCORRECTED, TO THE PROPER DESIGN AUTHORITY AND TO THE BUILDING OFFICIAL PRIOR TO THE COMPLETION OF THAT PHASE OF THE WORK.

THE SPECIAL INSPECTOR SHALL SUBMIT A FINAL SIGNED REPORT DOCUMENTING THAT THE SPECIAL INSPECTION WORK WAS, TO THE BEST OF HIS KNOWLEDGE, IN CONFORMANCE TO THE APPROVED PLANS AND SPECIFICATIONS AND THE APPLICABLE WORKMANSHIP PROVISIONS OF THE 2021 INTERNATIONAL BUILDING CODE.

SPECIAL INSPECTION IS REQUIRED FOR THE FOLLOWING WORK: ENGINEERED FILL; CONCRETE; REINFORCING FOR POURED-IN-PLACE CONCRETE ABOVE GRADE; REINFORCED MASONRY (IMMEDIATELY PRIOR TO AND DURING GROUTING); BOLTED CONNECTIONS; FIELD WELDING OF STRUCTURAL ROOF DIAPHRAGMS; ALL OTHER FIELD WELDING; ULTRASONIC OR MAGNETIC TESTING OF ALL STRUCTURAL MOMENT FRAME WELDS.

DEFERRED SUBMITTALS ARE TO BE MADE IN COMPLIANCE WITH SECTION 107.3.4.1 OF THE 2018 INTERNATIONAL BUILDING CODE. DEFERRED SUBMITTAL DOCUMENTS SHALL RESUBMITTED TO THE REGISTERED DESIGN PROFESSIONAL IN RESPONSIBLE CHARGE WHO SHALL REVIEW THEM AND FORWARD THEM TO THE BUILDING OFFICIAL HAVING JURISDICTION WITH A NOTATION INDICATING THAT THE DEFERRED SUBMITTAL DOCUMENTS HAVE BEEN REVIEWED AND THAT THEY HAVE BEEN FOUND TO BE IN GENERAL COMPLIANCE WITH THE DESIGN OF THE PROJECT. THE DEFERRED SUBMITTAL ITEMS SHALL NOT BE INSTALLED UNTIL THEIR DESIGN AND SUBMITTAL DOCUMENTS HAVE BEEN REVIEWED AND APPROVED. THE DEFERRED SUBMITTAL SHALL BE SUBMITTED TO THE BUILDING OFFICIAL HAVING JURISDICTION PRIOR TO INSPECTIONS. THE WORK RELATED TO THE DEFERRED SUBMITTALS IS NOT TO COMMENCE UNTIL THE BUILDING

OFFICIAL HAS APPROVED THE SUBMITTAL. THE FOLLOWING CONSTRUCTION DOCUMENTS SHALL BE SUBMITTED AS A DEFERRED SUBMITTAL.

WOOD TRUSSES

ABBREVIATIONS

A.F.F. = ABOVE FINISHED FLOOR

C.F.C.I. = CONTRACTOR FURNISHED, CONTRACTOR INSTALLED C.F.O.I. = CONTRACTOR FURNISHED, OWNER INSTALLED

O.F.O.I. = OWNER FURNISHED, OWNER INSTALLED

O.F.C.I. = OWNER FURNISHED, CONTRACTOR INSTALLED

O.C. = ON CENTER MIN. = MINIMUM

TYP. = TYPICAL

MIR. = MIRRORED SIM. = SIMILAR

F.V. = FIELD VERIFY

CL = CENTERLINE EQ = EQUAL

T.B.D. = TO BE DETERMINED SF = SQUARE FOOT / FEET

DIM. = DIMENSION(S) ALUM. = ALUMINUM

GYP. = GYPSUM

N.I.C. = NOT IN CONTRACT

DIMENSION NOTES

- 1. ALL PLAN DIMENSIONS, UNLESS OTHERWISE NOTED, ARE TO:
- A. FOR EXTERIOR DIMENSIONS: a. COLUMN GRID ON CENTERLINES.
- b. THE OUTER FACE OF CONCRETE OR MASONRY.
- c. THE OUTER FACE OF EPS INSULATION. B. FOR INTERIOR DIMENSIONS:
- a. THE FACE OF STUD.
- 2. DOOR LOCATIONS NOT DIMENSIONED ARE: A. JAMB FACE 4" FROM FACE OF STUD.
- B. CENTERLINE OF DOOR ON CENTERLINE OF ROOM OR CORRIDOR.
- 3. NOTED DIMENSIONS SHALL TAKE PRECEDENCE OVER SCALE DIMENSIONS; DETAILS OVER SMALLER SCALE DRAWINGS.
- 4. "FLOOR LINE" REFERS TO TOP OF CONCRETE SLABS. FOR DEPRESSED FLOORS AND CURBS, SEE STRUCTURAL DRAWINGS.
- 5. VERIFY ALL ROUGH-IN, CONCRETE PAD, OR PLATFORM DIMENSIONS FOR EQUIPMENT PROVIDED IN THIS PROJECT, OR BY OTHERS.
- 6. FINISHED FLOOR ELEVATIONS ARE TO TOP OF CONCRETE OR GYPCRETE,
- UNLESS NOTED OTHERWISE.
- 7. CEILING HEIGHT DIMENSIONS ARE TO FINISHED SURFACES, UNLESS NOTED

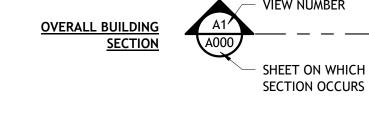
OTHERWISE.

MATERIALS LEGEND CONTINUOUS WOOD MEMBER WOOD STUD CONCRETE WALLS RIGID CONTINUOUS INSULATION METAL STUD CONCRETE BATT MASONRY () () INSULATION BLOCKING SYMBOL LEGEND DETAIL NUMBER **DETAIL TAG** SHEET ON WHICH DETAIL OCCURS

ELEVATION SHEET ON WHICH **ELEVATION OCCURS**

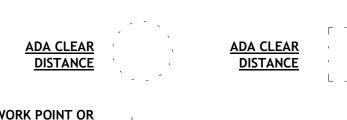
SHEET ON WHICH **SECTION OCCURS**

ELEVATION





MATCHLINE SEE DWG **MATCHLINE**



WORK POINT OR ELEV. BENCH **CEILING TAG WALL TYPES**

(100) DOOR <u>WINDOW</u> SHEET NOTE (1)

A 0' - 0"

<u>GLAZING</u>

233 SOUTH PLEASANT GROVE BLVD.

SUITE #105

PLEASANT GROVE, UTAH 84062

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Ш **REVISIONS** △ DESCRIPTION DATE

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PROJECT INFORMATION

15 MARCH 2024

DOCUMENTS

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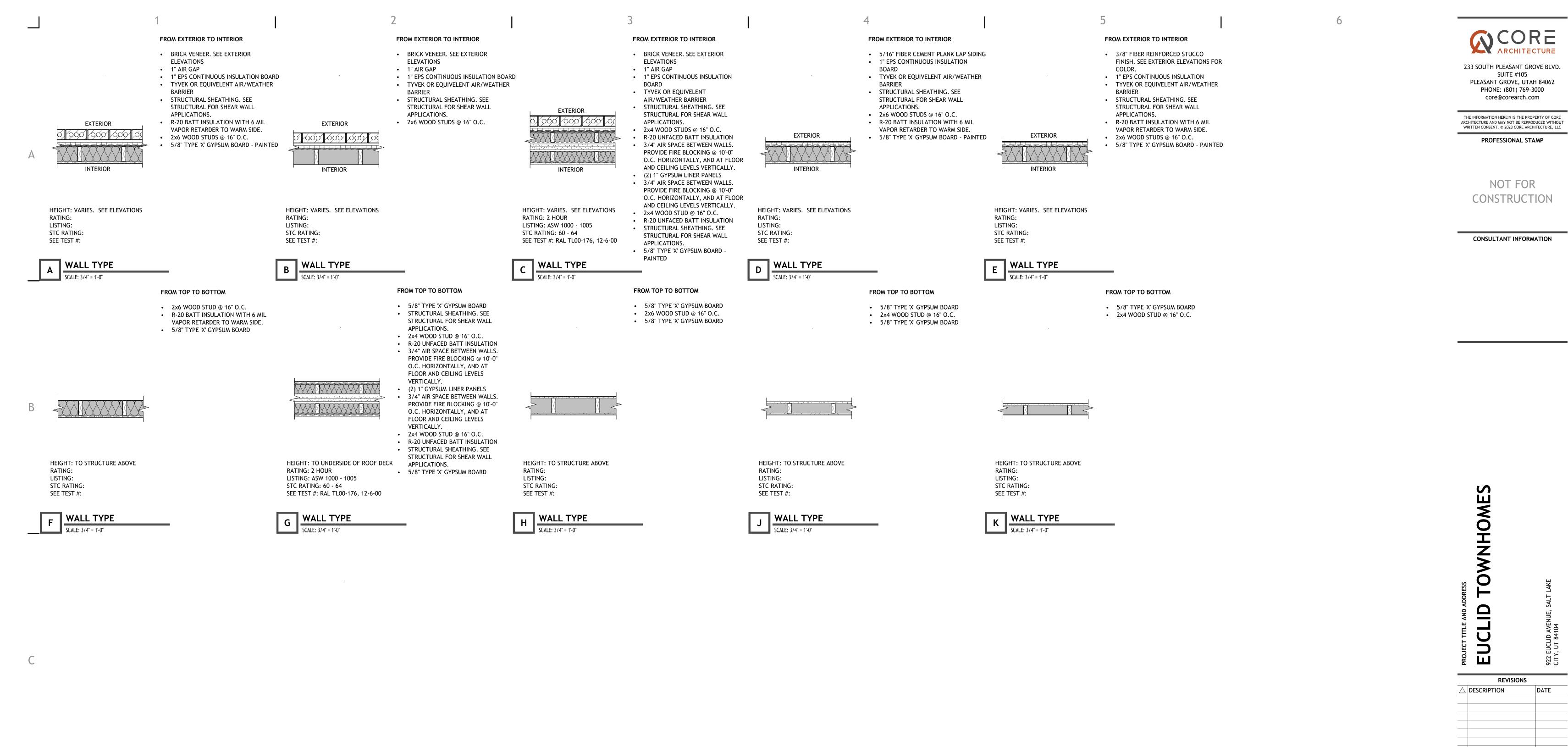
DATE:

SHEET TITLE

CODE **COMPLIANCE & GENERAL DRAWING INFORMATION**

SHEET NUMBER

G001



DATE: PROJECT #: PM / PA:

GENERAL NOTES

SHALL BE RATED FOR TREATED LUMBER.

(GEORGIA PACIFIC DENSHIELD OR EQUAL).

AN APPROVED MANNER TO MINIMIZE AIR LEAKAGE: a. JOINTS AROUND FENESTRATION AND DOOR FRAMES

(BOTH MANUFACTURED AND SITE-BUILT).

ROOFS, WALLS, AND FLOORS.

AIR BARRIER MATERIALS.

CORNERS, BETWEEN WALLS AND ROOFS OR CEILINGS.

d. BUILDING ASSEMBLIES USED AS DUCTS OR PLENUMS.

A. ALL WOOD FRAMED WALLS IN CONTACT WITH CONCRETE SLABS SHALL HAVE TREATED SILL PLATES. ALL FASTENERS IN CONTACT WITH TREATED LUMBER

B. WALL TYPES DO NOT ADDRESS TILE LOCATIONS. SEE INTERIOR ELEVATIONS

SHALL BE 5/8" TYPE X AND RATED AS CODE COMPLIANT TILE BACKER

C. ALL COMPONENTS NOTED AS AIR BARRIERS SHALL MEET THE REQUIREMENTS OF ASTM E 2357, ASTM E 1677, ASTM E 283 OR E 1680 AND COMPLY WITH SECTION 5.4.3.1.2 ASHRAE 90.1 2013 OR IECC 2015 AS FOLLOWS: THE FOLLOWING AREAS OF THE CONTINUOUS AIR BARRIER IN THE BUILDING ENVELOPE SHALL BE WRAPPED, SEALED, CAULKED, GASKETED, OR TAPED IN

FOR TILE LOCATIONS. GYPSUM BOARD IN RESTROOMS AND BEHIND ALL TILE

b. JUNCTIONS BETWEEN WALLS AND FLOORS, BETWEEN WALLS AT BUILDING

e. JOINTS, SEAMS, CONNECTIONS BETWEEN PLANES, AND OTHER CHANGES IN

c. PENETRATIONS THROUGH THE AIR BARRIER IN BUILDING ENVELOPE

DRAWING SET STATUS

PROJECT INFORMATION

15 MARCH 2024

CONSTRUCTION **DOCUMENTS**

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SHEET TITLE

WALL TYPES

SHEET NUMBER

G002

EUCLID

REVISIONS					
\triangle	DESCRIPTION	DATE			
	PROJECT IN	FORMATION			
DATE:		15 MARCH 2024			

DRAWING SET STATUS CONSTRUCTION **DOCUMENTS**

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SHEET TITLE

PROJECT #:

GENERAL NOTES

- A. ALL CAULKING AT PENETRATIONS SHALL MEET THE SAME FIRE RATING AS THE RATED ASSEMBLY IT IS USED.
- OWNER PRIOR TO CONSTRUCTION OF ADJOINING OR RELATED STRUCTURES. C. SEE SEPARATION LEGEND FOR LOCATIONS OF VERTICAL EXIT ENCLOSURES, SHAFT ENCLOSURES, INCIDENTAL USE SEPARATIONS, DWELLING SEPARATIONS,
- AND CORRIDORS. D. ALL PENETRATIONS SHALL HAVE AN F-RATING AND A T-RATING EQUAL TO THE RATING FOR THE ASSEMBLY PENETRATED BUT NOT LESS THAN 1-HOUR. (EXCEPTION: FLOOR PENETRATIONS CONTAINED WITHIN THE CAVITY OF A
- WALL) 2015 IBC 714.4.1.1.2. E. FIRESTOPPING DETAILS ARE SHOWN BY 3M. CONSULT SPECIFICATIONS AND CURRENT UNDERWRITERS LABORATORIES "FIRE RESISTANT DIRECTORY" FOR
- MANUFACTURER'S RECOMMENDATIONS. F. ALL FIRE PENETRATION AND JOINT FIRESTOPPING WORK TO BE COMPLETED
- PRIOR TO THE INSTALLATION OF CEILINGS TO FACILITATE INSPECTION OF

B. B. COORDINATE INSTALLATIONS OF ALL "AFTER CONTRACT" ASSEMBLIES WITH

FIRE **PENETRATIONS AND JOINT**

EQUAL MANUFACTURERS AND DETAILS. INSTALL ALL MATERIALS PER

G. ALL CAULKING AND OTHER FIRESTOPPING MATERIALS TO HAVE A PROFESSIONAL CLEAN LOOKING APPEARANCE FOLLOWING INSTALLATION

DETAILS SHEET NUMBER

007213 (GENERAL CONDITIONS - AIA A201) - AIA A201 - 2007 - GENERAL CONDITIONS OF CONTRACT WILL BE FOLLOWED AND APPLY TO THIS PROJECT. A COPY OF THIS STANDARD DOCUMENT WILL BE PROVIDED UPON REQUEST.

DIVISION 00: PROCUREMENT AND CONTRACTING REQUIREMENTS

007300 (SUPPLEMENTARY GENERAL CONDITIONS) - ARTICLE 7 CHANGES IN WORK:

DIVISION 01: GENERAL REQUIREMENTS

COORDINATE WITH CONSTRUCTION MANAGER.

DIVISION 03: CONCRETE

033000 (CAST IN PLACE CONCRETE) - FOR EXTERIOR CONCRETE FLATWORK, CURB, AND GUTTER, PROVIDE 4,000 PSI MINIMUM CONCRETE. CONCRETE TO BE SUPPLIED BY A FIRM EXPERIENCED IN MANUFACTURING READY-MIXED CONCRETE PRODUCTS AND THAT COMPLIES WITH ASTM C 94 REQUIREMENTS FOR PRODUCTION FACILITIES AND EQUIPMENT. COMPLY WITH ACI 302.1R RECOMMENDATIONS FOR SCREENING, RESTRAIGHTENING, AND FINISHING OPERATIONS FOR CONCRETE SURFACES. DO NOT WET CONCRETE FROM PREMATURE DRYING AND EXCESSIVE COLD OR HOT TEMPERATURES. COMPLY WITH ACI 306.1 FOR COLD WEATHER PROTECTION AND ACI 301 FOR HOT WEATHER PROTECTION. BY GENEVA ROCK MIX OR EQUAL. GENEVA ROCK PRODUCTS, OREM, UTAH, (801) 765-7800. SEE STRUCTURAL SHEETS FOR STEEL CONCRETE REINFORCEMENT REQUIREMENTS.

DIVISION 04 - MASONRY

040513 (MORTAR) - CEMENT (ASTM C150, TYPE I OR II, LOW ALKALI), HYDRATED LIME (ASTM C1141), QUICKLIME (ASTM C5), SAND (ASTM C144), AND PLASTICIZING AGENT (OM) SHALL CONFORM TO ACCEPTED MASONRY PRACTICES AND STANDARDS. COLOR TO BE SELECTED BY OWNER AND ARCHITECT.

042000 (UNIT MASONRY) - BRICK TO BE INTERSTATE BRICK "HARVARD BLEND" ADVANTAGE SIZE, 3X3X9 NOMINAL (3X2 5/8X 8 5/8 ACTUAL) OR EQUAL. MARK HEDMANN, INTERSTATE BRICK, WEST JORDAN, UTAH, (801) 280-5234. PROVIDE ADJUSTABLE MASONRY VENEER ANCHORS THAT ALLOW VERTICAL ADJUSTMENT BUT RESIST TENSION AND COMPRESSION FORCES PERPENDICULAR TO PLAN OF WALL, FOR ATTACHMENT OVER SHEATHING TO METAL STUDS AND AS FOLLOWS: STRUCTURAL PERFORMANCE CHARACTERISTICS: CAPABLE OF WITHSTANDING A 100-LBF LOAD BOTH IN TENSION AND COMPRESSION WITHOUT DEFORMING OR DEVELOPING PLAY IN EXCESS OF 0.05 INCH. PRODUCTS: SUBJECT TO COMPLIANCE WITH REQUIREMENTS, AVAILABLE PRODUCTS THAT MAY BE INCORPORATED INTO THE WORK INCLUDE, BUT ARE NOT LIMITED TO, THE FOLLOWING: 1) DAYTON SUPERIOR CORPORATION, DUR-O-WAL DIVISION, 2) HOHMANN & BARNARD, INC., 3) WIRE-BOND, 4) OTHERS APPROVED BY ENGINEER. RIB STIFFENED ANCHORS, 0.075 INCH THICK, STEEL SHEET, GALVANIZED AFTER FABRICATION. WIRE TIES: TRIANGULAR, RECTANGULAR, OR T-SHAPED WIRE TIES FABRICATED FROM 0.187 INCH DIAMETER, HOT-DIP GALVANIZED STEEL WIRE. PROVIDE MASONRY TIES AND ANCHORING SHALL CONFORM TO ACCEPTED MASONRY PRACTICES AND STANDARDS. ANCHOR BOLTS ASTM A 307, GRADE A; WITH ASTM A 563 HEX NUTS AND WASHERS HOT DIP GALVANIZED. PROVIDE BRICK FOR MONUMENT SIGN BASE. PROVIDE METAL FLASHING COMPLYING WITH SMACNA'S "ARCHITECTURAL SHEET METAL MANUAL" AND AS FOLLOWS: EXTEND 3 INCHES INTO WALL AND 1/2 INCH OUT FROM WALL, WITH OUTER EDGE BENT DOWN 30 DEGREES AND HEMMED, WITH VERTICAL LEG 3 INCHES UP THE WALL BEHIND MASONRY. PROVIDE MORTAR MESH, AND WEEP

DIVISION 05 - METALS

051200 (STRUCTURAL STEEL FRAMING) - SEE STRUCTURAL SHEETS FOR SPECIFICATION REQUIREMENTS.

054000 (COLD FORMED METAL FRAMING) - MANUFACTURER'S STANDARD STEEL STUDS, 20 GAGE MINIMUM, OF SIZES INDICATED ON DRAWINGS. BY DIETRICH INDUSTRIES, ALLIED AMERICAN, STUCCO, OR EQUAL. DIETRICH INDUSTRIES, PITTSBURGH, PENNSYLVANIA, (412) 281-2805. SHOP FABRICATED STEEL STUD TRUSSES - SEE STRUCTURAL.

055000 (METAL FABRICATIONS) - STEEL LINTELS, STEEL LADDERS, AND MISCELLANEOUS STEEL FRAMING AND SUPPORT TO COMPLY WITH ACCEPTED ASTM STANDARDS.

055213 (PIPE AND TUBE RAILINGS) - PROVIDE PIPE, TUBE, AND PLATE RAILINGS PER A451, A452, A453, A454, AND A455. SEE STRUCTURAL FOR GRADES OF STEEL.

DIVISION 06 - WOODS AND PLASTICS

061000 (ROUGH CARPENTRY) - DIMENSIONAL LUMBER SHALL BE DOUGLAS FIR-LARCH NO.2 OR EQUAL. SEE STRUCTURAL SHEETS FOR SPECIFICATIONS.

061600 (SHEATHING) - SEE STRUCTURAL SHEETS FOR SPECIFICATIONS.

061753 (SHOP FABRICATED WOOD TRUSSES) - SEE STRUCTURAL SHEETS FOR SPECIFICATIONS.

062000 (FINISH CARPENTRY) - ALL HARDWOOD PLYWOOD SHALL BE CUSTOM GRADE CHERRY, WITH TYPE 2 WATER -RESISTANT GLUE. ALL HARDWOOD SHALL BE CUSTOM GRADE CHERRY, WITH AN AVERAGE MOISTURE CONTENT OF TEN PERCENT OR LESS.

064023 (INTERIOR ARCHITECTURAL WOODWORK) - FABRICATORS SHALL BE LICENSED BY THE AWI QUALITY CERTIFICATION PROGRAM. JON PETERSON, PETERSON WOODWORKS INC., LINDON, UTAH, (801) 785-3990, OR EQUAL. HIGH-PRESSURE LAMINATE BY WILSONART, AND FORMICA OR EQUAL AT COUNTERTOPS, AND BACKSLASHES, UPPERS, BASE CABINETS, AND DOOR/DRAWER FACES. PEDIATRICS UPPERS, BASE CABINETS, AND DOOR/DRAWER FACES TO BE PLASTIC LAMINATE - SEE A553, A554, & A1101a. UTAH COUNTY SURGICAL UPPERS, BASE CABINETS, AND DOOR/DRAWER FACES TO BE PLASTIC LAMINATE. WOOD PANELS TO BE EMPIRE MAHOGANY - SEE A555 & AI101b. PODIATRY UPPERS, BASE CABINETS, AND DOOR/DRAWER FACES TO BE PLASTIC LAMINATE. WOOD PANELS TO BE SOLID CUSTOM GRADE KNOTTY CHERRY. INTERIOR OF VISIBLE MILLWORK TO BE CHERRY WOOD VENEER - SEE A556, A557, AND AI101c. VALLEY OBGYN UPPERS, BASE CABINETS, AND DOOR/DRAWER FACES TO BE WHITE THERMOFOIL - SEE A551, A552, & AI103. HINGES TO BE CONCEALED TYPE (US26D). STAINLESS STEEL PULLS TO BE BACK MOUNTED, ADA COMPLIANT (US32D) BY TOP KNOBS, M1005 PENNINGTON BAR PULL FOR VALLEY OBGYN AND PODIATRY. PULLS TO BE BACK MOUNTED TOP KNOBS - M1365 ASPEN FLAT SIDED PULL 6" (C-C) - SILICON BRONZE LIGHT FOR UTAH COUNTY SURGICAL. PULLS TO BE BACK MOUNTED BY TOP KNOBS, M1081 WELLINGTON BAR PULL FOR PEDIATRICS. GROMMETS AND EDGEBANDING TO BE 3MM. OTHER FINISHES, MATERIALS, AND HARDWARE TO COMPLY WITH AWI STANDARDS FOR INTERIOR ARCHITECTURAL WOODWORK. OWNER TO CHOOSE FROM ALL STANDARD COLORS. USE THE FOLLOWING CONNECTIONS FOR RECEPTION AND NURSES STATION; C.R. LAURENCE CO. OR EQUAL: CRL SINGLE PIVOT GLASS TO WALL/FLOOR SWIVEL FITTING #SGF63BGW, CRL 1-1/4" DIAMETER X 1/2" LONG STANDOFF BASES #SOB114112BS, AND CRL SURFACE MOUNT CAP ASSEMBLIES SGF36CAP. COORDINATE CONNECTIONS WITH ARCHITECT. 3-FORM VARIA ECORESIN HINT TO BE USED FOR MILLWORK PANELS. SEE AI101, AI101A, AI101B, AI101C, AND AI103 FINISH SCHEDULES, ALONG WITH MILLWORK DETAILS, AND INTERIOR ELEVATIONS.

066116 (SOLID SURFACE FABRICATIONS) - COUNTER TOPS, TRANSACTION COUNTERS, AND WINDOW SILLS FOR WINDOWS TO BE SOLID SURFACE BY E. I. DU PONT DE NEMOURS AND COMPANY, FORMICA CORPORATION, LG CHEMICAL, LTD. OR SAMSUNG; CHEIL INDUSTRIES INC. COLORS TO BE SELECTED FROM MANUFACTURER'S FULL RANGE OF COLORS BY OWNER.

066119 (QUARTZ SURFACING FABRICATIONS) - COUNTER TOPS AND TRANSACTION COUNTERS TO BE QUARTZ BY CAESARSTONE. ACCEPTABLE MANUFACTURER: PROVIDE CAESARSTONE QUARTZ SURFACING DISTRIBUTION BY U.S. QUARTZ PRODUCTS INC. (CAESARSTONE U.S.A., INC.); VAN NUYS, CA; PHONE 877-9-QUARTZ; WWW.CAESARSTONEUS.COM. SUBSTITUTIONS: ZODIAQ MANUFACTURED BY DUPONT MAY BE SUBSTITUTED. THICKNESS: NOMINAL 1-1/4 INCHES AS SHOWN ON DRAWINGS A551. COLORS TO BE SELECTED FROM A: "MOCHA", B: "CINDER", C: "LAGOS", D: "BLIZZARD" BY OWNER.

DIVISION 07 - MOISTURE PROTECTION

071113 (BITUMINOUS DAMPPROOFING) - FOUNDATION DAMPPROOFING TO BE 2

072100 (THERMAL INSULATION) - BATT INSULATION WITH TO BE R-20 BY OWENS-CORNING OR EQUAL. INSULATION SHALL HAVE A FLAME SPREAD OF 0-25.

072413 (POLYMER-MODIFIED EXTERIOR INSULATION AND FINISH SYSTEM) - DRYVIT OUTSULATION OR EQUAL. CLASS PB SYSTEM. AS APPROVED BY ICBO EVALUATION SERVICE. TEXTURE AND COLOR TO IMITATE NATURAL CONCRETE COLOR WITH LIGHT SAND TEXTURE. COLOR TO BE "#104 - DOVER SKY". FIELD COLOR TO BE

072500 (WEATHER BARRIERS) - WEATHER BARRIER TO BE 2 LAYERS OF 30 MINUTE PAPER AS CURRENTLY APPROVED BY ICBO EVALUATION SERVICES.

"454A - STONE GRAY" WITH SANDPEBBLE FINE TEXTURE.

DIVISION 07 - MOISTURE PROTECTION (CONT.)

074213 (METAL SOFFIT PANELS) - SOFFIT PANELS TO BE VENTED. SHEET ALUMINUM ALLOY TO BE A MINIMUM OF .032 MINIMUM AND GALVANIZED SHEET METAL TO BE A MINIMUM OF 24 GAUGE MINIMUM. TO BE FINISHED WITH A KYNAR 500 FINISH. COLOR TO BE "WEATHERED" BY PAC-CLAD. OWNER TO APPROVE COLOR SELECTION. MANUFACTURERS: BERRIDGE MANUFACTURING COMPANY, CENTRIA ARCHITECTURAL SYSTEMS, ENGLERT, FABRAL, MBCI, MERCHANT & EVANS, METAL-FAB MANUFACTURING, AND PETERSON ALUMINUM CORPORATION.

075419 (THERMOPLASTIC MEMBRANE ROOFING (TPO) ROOFING) - CLASS 'C' MINIMUM SINGLE-PLY ROOF MEMBRANE SHEATHING. INSTALL PER MANUFACTURER'S RECOMMENDATIONS FOR MECHANICALLY FASTENED SYSTEM. FULLY ADHERE TO VERTICAL SURFACES. SINGLE-PLY ROOFING TO BE SARNAFIL OR EQUAL. WHITE, 60 MIL. 15 YEAR WARRANTY MATERIALS. PROVIDE WHITE HEAT WELDABLE WALKWAY ROLLS. REQUIREMENTS OF TYPE OF SHEATHING COMPATIBLE WITH SINGLE PLY MEMBRANE TO BE COORDINATED WITH CONTRACTOR PRIOR TO INSTALLATION OF SHEATHING. PROVIDE FLOOD TEST ON ROOF TO DETERMINE ANY LEAKS IN SINGLE PLY MEMBRANE.

075323 (ETHYLENE-PROPOLENE-DIENE-MONOMER (EPDM) ROOFING) - CLASSIC 'C' MINIMUM SINGLE-PLY ROOF MEMBRANE SHEATHING. INSTALL PER MANUFACTURER'S RECOMMENDATIONS FOR MECHANICALLY FASTENED SYSTEM. FULLY ADHERE TO VERTICAL SURFACES. SINGLE-PLY ROOFING TO BE STEVEN "EP" OR EQUAL. WHITE, 60 MIL. 15 YEAR WARRANTY MATERIALS.

076200 (SHEET METAL FLASHING AND TRIM) - SHEET ALUMINUM ALLOY TO BE A MINIMUM OF .032 MINIMUM AND GALVANIZED SHEET METAL TO BE A MINIMUM OF 24 GAUGE MINIMUM. TO BE FINISHED WITH A KYNAR 500 FINISH. COLOR TO BE "WEATHERED ZINC" BY PAC-CLAD.

078413 (THROUGH-PENETRATION FIRESTOP SYSTEMS) - SEE SHEET G004.

079200 (JOINT SEALANTS) - CAULKING TO BE A NON-HARDENING LIQUID POLYSULPHIDE POLYMER SUCH AS GENERAL ELECTRIC'S "SILICONE SEALANT 1300" OR EQUAL. CAULKING WORK AND MATERIALS SHALL BE WARRANTED FOR A PERIOD OF 5 YEARS FOLLOWING SUBSTANTIAL COMPLETION. OWNER TO CHOOSE FROM ALL STANDARD COLORS. CAULK ALL DISSIMILAR SURFACES.

DIVISION 08 - DOORS AND WINDOWS

081113 (HOLLOW METAL DOORS AND FRAMES) - STEEL DOOR FRAMES, AND WINDOW FRAMES, AND STEEL DOORS TO BE 16 GAUGE GALVANIZE. BY CECO DOOR PRODUCTS OR EQUAL. CECO DOORS, MILAN, TENNESSEE.

081416 (FLUSH WOOD DOORS) - 5-PLY, PREMIUM WITH GRADE 'A' FACES, QUARTER SAWN, BALANCED MATCH. FINISH TO BE WHITE WASHED WHITE OAK FOR COMMON AREA, AND VALLEY OBGYN DOORS. FINISH TO BE PLAIN CHERRY FOR PODIATRY. FINISH TO BE PLAIN ALDER FOR UTAH COUNT SURGICAL. FINISH TO BE PLAIN MAPLE FOR PEDIATRICS. MARSHFIELD DOORS OR EQUAL. MARSHFIELD DOORS, MARSHFIELD WISCONSIN. SEE INTERIOR DESIGNER SHEETS AND FINISH SCHEDULE FOR FINISHES OF DOORS.

084113 (ALUMINUM-FRAMED ENTRANCES AND STOREFRONTS) - 2 X 4 NOMINAL SECTION BY KAWNEER OR EQUAL. MEDIUM STYLE DOOR. TO BE FINISHED WITH A KYNAR 500 FINISH. FINISH TO BE "CLEAR ANODIZED". ALSO ADA AUTOMATIC DOOR OPENERS TO BE SUPPLIED UNDER THIS SECTION. SEE SECTION 087111 FOR DOOR HARDWARE. KAWNEER, SALT LAKE CITY, (801) 768-4588. SEE WINDOW SCHEDULE ON SHEET A601 AND A602. FIELD VERIFY DIMENSIONS PRIOR TO FABRICATION.

084413 (GLAZED ALUMINUM CURTAIN WALLS) - 2.5 X 6 NOMINAL SECTION BY KAWNEER OR EQUAL. TO BE FINISHED WITH A KYNAR 500 FINISH. FINISH TO BE "CLEAR ANODIZED". PAUL CANNON, KAWNEER, SALT LAKE CITY, (801) 768-4588. SEE WINDOW SCHEDULE ON SHEET A601 AND A602. FIELD VERIFY DIMENSIONS PRIOR TO FABRICATION.

085113 (ALUMINUM WINDOWS) - 2 X 4 NOMINAL SECTION BY KAWNEER OR EQUAL. TO BE FINISHED WITH A KYNAR 500 FINISH. FINISH TO BE "CLEAR ANODIZED". PAUL CANNON, KAWNEER, SALT LAKE CITY, (801) 768-4588. SEE WINDOW SCHEDULE ON SHEET A601 AND A602. FIELD VERIFY DIMENSIONS PRIOR TO FABRICATION.

086200 (UNIT SKYLIGHTS) - SKYLIGHT TO BE 4'-0"X4'-0" KALWALL STANDARD SIZE. CORY ALDER'S, MURRAY, UTAH, (801) 262-9700.

087111 (DOOR HARDWARE) - SEE DOOR SCHEDULE ON SHEET A601 AND A602.

087400 (ACCESS CONTROL HARDWARE) KNOX BOX TO BE AMERICAN FORK FIRE DEPARTMENT APPROVED 3200 SERIES RECESS MOUNT HIGH SECURITY, HEAVY DUTY KEY BOX KNOX BOX WITH HINGED DOOR. COLOR: BLACK.. COORDINATE WITH FIRE CHIEF. KNOX COMPANY, 1601 DEER VALLEY ROAD, PHOENIX, ARIZONA 85027, (800) 552-5669.

088000 (GLAZING) - SEE GLAZING SCHEDULE ON SHEET A601 AND A602.

DIVISION 9: FINISHES

092900 (GYPSUM BOARD) - GYPSUM BOARD PRODUCTS AND ACCESSORIES BY USG OR EQUAL. INTERIOR DRYWALL CORNERS TO BE SQUARE.

093000 (TILING) - 12 X 12 PORCELAIN TILE FABRIQUE OR EQUAL. GLAZED CERAMIC WALL TILE TO BE 6X6 BASE AND FIELD (GROUP 2), AND 3X6 ACCENT (GROUP 3). INSTALLATION MATERIALS AND METHODS TO COMPLY WITH TCA. OWNER TO CHOOSE FROM ALL AVAILABLE COLORS. PROVIDE SCHLUETER EDGE TRIM AT EDGE OF TILE WERE FLOORING IS DISSIMILAR.

095113 (ACOUSTICAL PANEL CEILINGS) - CEILING TYPE B: 2'X2'X5/8" ACOUSTICAL LAY-IN CEILING PANELS, GRID, ACCESSORIES BY USG. PROVIDE USG "ECLIPSE" # 78785 WITH TEGULAR EDGE. - CEILING TYPE F: 2'X2'X5/8" ACOUSTICAL LAY-IN CEILING PANELS - USG "MILLENNIA CLIMA PLUS" #76907 - WITH FINELINE BEVEL EDGE. FINELINE GRID CEILING SYSTEM BY CHICAGO METALLIC "3500 ULTRALINE" 9/16 FACE - 1/4 REVEAL STAB OR EQUAL. PROVIDE A SAMPLE OF FINISHES FROM MANUFACTURER'S FULL RANGE OF COLORS.

096513 (RESILIENT WALL BASE) - 4" RUBBER BASE BY MANNINGTON AND JOHNSONITE. PROVIDE RUBBER BASE PER FINISH SCHEDULES, SEE AI101, AI101A, AI101B, AI101C, AND AI103. OTHER MANUFACTURERS: VPI.

096219 (LAMINATE FLOORING) - LAMINATE FLOORING TO BE SELECTED BY

096400 (WOOD FLOORING) - WOOD FLOORING TO BE SELECTED BY OWNER.

096513 (RESILIENT WALL BASE) - 4" RUBBER BASE BY ROPPE OR EQUAL. PROVIDE ROPPE "PINNACLE PLUS" #00 PROFILE RUBBER BASE. PROVIDE CORNER BLOCKS AT INSIDE AND OUTSIDE CORNERS. OWNER TO CHOOSE FROM ALL STANDARD COLORS. OTHER MANUFACTURERS: VPI.

096516 (RESILIENT SHEET FLOORING) - MAINTAIN TEMPERATURE AS RECOMMENDED BY MANUFACTURER. CLOSE SPACES TO TRAFFIC FOR 48 HOURS AFTER INSTALLATION. SEAMING METHOD - HEAT WELDED. METAL EDGE STRIPS TO PROTECT EXPOSED EDGES OF FLOOR COVERINGS. COVE STRIP 1" DIAMETER OR AS APPROVED BY MANUFACTURER. CORNERS - METAL OUTSIDE PROVIDED AND/OR APPROVED BY FLOORING MANUFACTURER AND HEAT WELDED INSIDE. ADHESIVES - WATER RESISTANT TYPE AS RECOMMENDED BY MANUFACTURER. SEE FINISH SCHEDULE ON AI101. OWNER TO CHOOSE FROM ALL STANDARD COLORS.

096519 (RESILIENT TILE FLOORING) - MAINTAIN TEMPERATURE AS RECOMMENDED BY MANUFACTURER. CLOSE SPACES TO TRAFFIC FOR 48 HOURS AFTER INSTALLATION. ADHESIVES - WATER RESISTANT TYPE AS RECOMMENDED BY MANUFACTURER. VINYL COMPOSITION TILE (VCT) TO BE MANNINGTON 12X12 SOLID POINT - 337 TOASTED SESAME. VINYL COMPOSITION TILE (VCT) ANTISTATIC TO BE VPI 12X12 WHITE 2. SEE FINISH SCHEDULE ON AI101, AI101A, AI101B, AI101C, AND AI103.

096813 (TILE CARPETING AND CARPET BASE) - THE FOLLOWING SPECIFICATIONS ARE BASED ON SPECIFIC PERFORMANCE REQUIREMENTS FOR QUALITY, DURABILITY AND DESIGN TO MATCH INTERFACE FLOR CUSHIONED BACKED MODULAR TILE "VERMONT" PRODUCT #123570250H. CONSTRUCTION: TUFTED LOOP PILE, PATTERN AND COLOR: HIGHLY STYLED PATTERNED DESIGN PRE-APPROVED BY ENDUSER, FACE FIBER: TYPE 6,6 NYLON, DYE METHOD: 100% SOLUTION DYED, GAUGE: 1/8 GAUGE MINIMUM, BACKING SYSTEM: STANDARD BACK, ADHESION SYSTEM: ADHERED, ANTIMICROBIAL: LIFETIME WARRANTED BUILT IN PROTECTION, FADE RESISTANCE: MINIMUM RATING 4 USING AATCC 165 SOIL RESISTANCE: MANUFACTURER APPROVED TECHNOLOGY, STAIN RESISTANCE: MINIMUM RATING OF 6 USING AATCC 175, APPEARANCE RETENTION: "SEVERE" PERFORMANCE RATING CERTIFICATION USING CRI TM101, INDOOR AIR QUALITY: REGISTERED CRI GREEN LABEL PLUS, ENVIRONMENTAL: MINIMUM SUSTAINABLE CARPET ASSESSMENT NSF140 GOLD CERTIFIED, TILE SIZE: 24"X24", PILE WEIGHT: MINIMUM 18 OZ PER YARD. CARPET TILE BY INTERFACE FLOR. OWNER TO CHOOSE FROM ALL AVAILABLE COLORS. SEE FINISH SCHEDULE ON SHEET AI101.

096519 (RESILIENT TILE FLOORING) - MAINTAIN TEMPERATURE AS RECOMMENDED BY MANUFACTURER. CLOSE SPACES TO TRAFFIC FOR 48 HOURS AFTER INSTALLATION. ADHESIVES - WATER RESISTANT TYPE AS RECOMMENDED BY MANUFACTURER. VINYL COMPOSITION TILE (VCT) TO BE MANNINGTON 12X12 SOLID POINT - 337 TOASTED SESAME. VINYL COMPOSITION TILE (VCT) ANTISTATIC TO BE VPI 12X12 WHITE 2. SEE FINISH SCHEDULE ON AI101, AI101A, AI101B, AI101C, AND AI103.

099100 (PAINTING) - GYPSUM BOARD: 1 COAT PRIMER SEALER, 2 COATS LATEX SEMI GLOSS. GYPSUM BOARD CEILINGS: 1 COAT PRIMER SEALER, 2 COATS LATEX SEMI GLOSS. GYPSUM BOARD AT WALLS TO RECEIVE WALL COVERINGS: ACRYLIC PRIMER AS APPROVED BY WALLCOVERING MANUFACTURER. FERROUS METAL, METAL DOORS AND METAL FRAMES: 1 COAT RED OXIDE METAL PRIMER, 2 COATS ALKYD SEMI GLOSS ENAMEL. WOOD DOORS, MOLDINGS AND TRIM: 1 COAT CLEAR LACQUER SEALER, 2 COATS BEST GRADE INTERIOR GLOSS VARNISH. OWNER TO CHOOSE FROM ALL STANDARD COLORS. INTERIOR BRICK AND CONCRETE FLOOR: CLEAR SEALER AS RECOMMENDED BY MANUFACTURER. EPOXY PAINT ON CONCRETE FLOOR: PRIME COAT: EPOXY, COLD-CURED, GLOSS, MPI#77, INTERMEDIATE COAT: EPOXY, COLD-CURED, GLOSS, MPI#77, TOPCOAT: EPOXY, COLD-CURED, GLOSS, MPI#77. PROVIDE HAMMERITE COATING PER AS501, AS502, AND AS503. PROVIDE POWDER COATED COATINGS PER A201, A202, AND A203. COATING ON WOOD STAIRS TO BE HIGH PERFORMANCE HEAVY DUTY FLOOR COATING, SHERWIN WILLIAMS ARMORSEAL HEAVY DUTY FLOOR COATINGS, REXTHANE 1 FLOOR COATING OR EQUAL, APPLY 3 COATS MINIMUM. SEE FINISH SCHEDULE ON SHEET AI101, AI101A, AI101B, AI101C, AND AI103 FOR PAINT COLORS, FINISH, AND MANUFACTURER.

DIVISION 12: FURNISHINGS

DESIGN BUILD

DIVISION 22: PLUMBING

DESIGN BUILD

DIVISION 23: HEATING VENTILATING AND AIR CONDITIONING

DESIGN BUILD

DIVISION 26: ELECTRICAL

DESIGN BUILD

DIVISION 28: ELECTRONIC SAFETY AND SECURITY

PROVIDED BY OWNER.

DIVISION 31: EARTHWORK

312000 (EARTH MOVING) - SEE ENGINEERING SHEETS FOR SPECIFICATION REQUIREMENTS.

DIVISION 32: EXTERIOR IMPROVEMENTS

321313 (CONCRETE PAVING) - SEE SITE PLAN.

328400 (IRRIGATION) - PROVIDE NEW IRRIGATION SYSTEM FOR ALL

 $329200\ (\textsc{turf}\ \textsc{and}\ \textsc{grasses})$ - Provide Grass per architectural and Landscape site plans.

329300 (PLANT MATERIALS) - PROVIDE PLANTING PER LANDSCAPE DRAWINGS.

DIVISION 33: UTILITIES

334100 (STORM UTILITY DRAINAGE PIPING) - TIE INTO THE EXISTING STORM DRAIN PIPING.

CORE

233 SOUTH PLEASANT GROVE BLVD.
SUITE #105
PLEASANT GROVE, UTAH 84062
PHONE: (801) 769-3000
core@corearch.com

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EUCLID TOWNHOME

PROJECT INFORMATION

DATE: 15 MARCH 2024

PROJECT #: 23-129

PM / PA: AS

DRAWING SET STATUS
CONSTRUCTION
DOCUMENTS

THIS DRAWING SET IS INTENDED TO BE PRINTED IN COLOR

SHEET TITLE

SPECIFICATIONS

SHEET NUMBER

G004

3 6

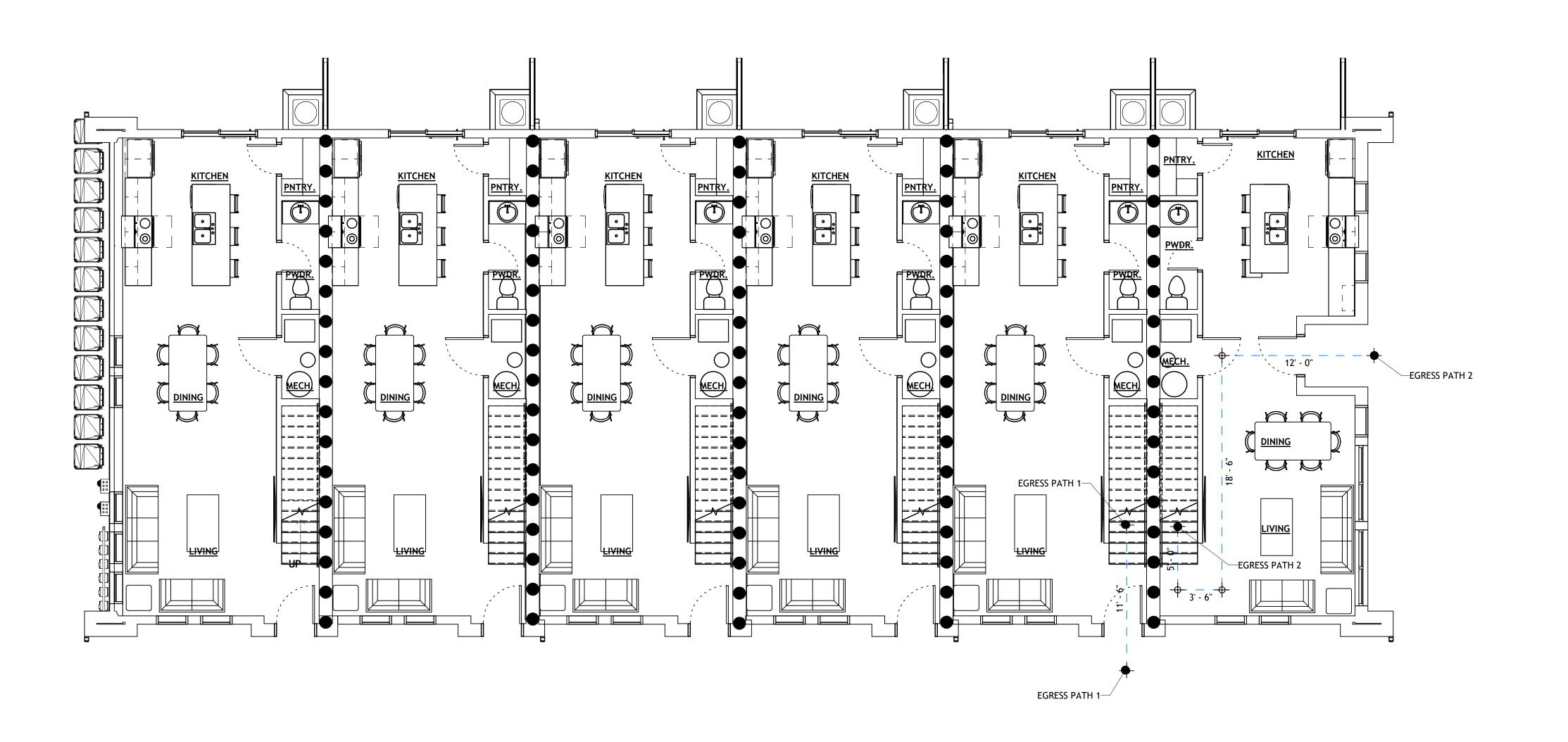


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SEPARATION LEGEND

TWO HOUR RATED ASSEMBLY. ASSEMBLY TO EXTEND TO ROOF DECK IN ALL CASES, INCLUDING ROOF OVERBUILDS.

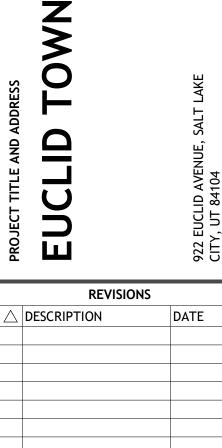
EGREES TRAVEL PATHS

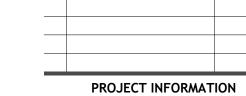
<u>Type</u>
EGRESS PATH 1
EGRESS PATH 2

Egress Path Length 49'-6" 76'-8 1/2"

GENERAL NOTES

A. SEE SHEET G001 FOR ALL RELATED CODE COMPLIANCE INFORMATION.





DATE:

PROJECT #: 23-PM / PA:
PIC:

DRAWING SET STATUS

CONSTRUCTION DOCUMENTS

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SHEET TITLE

SHEET TITLE

LIFE SAFETY PLANS

SHEET NUMBER
G101

D1 LEVEL 1 LIFE SAFETY PLAN

G101 SCALE: 3/16" = 1'-0"

N

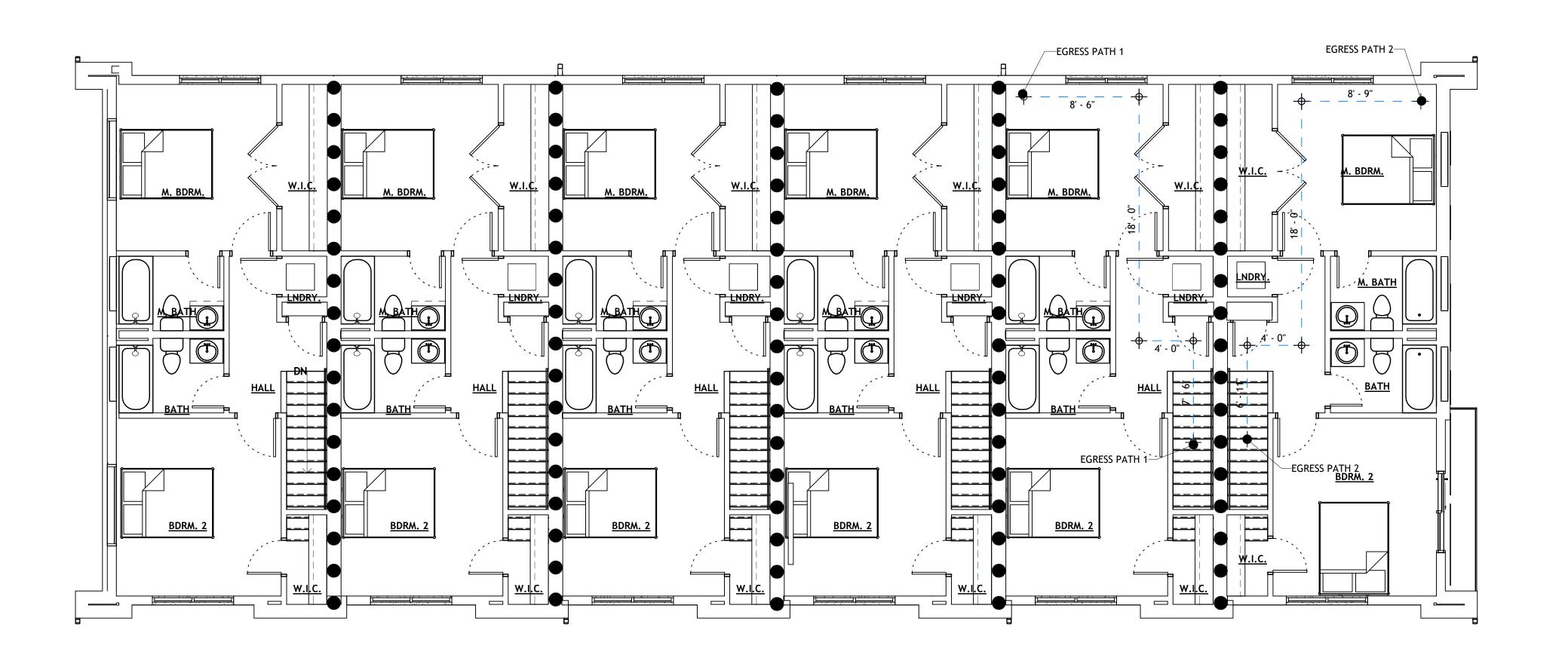
233 SOUTH PLEASANT GROVE BLVD. **SUITE #105** PLEASANT GROVE, UTAH 84062 PHONE: (801) 769-3000 core@corearch.com

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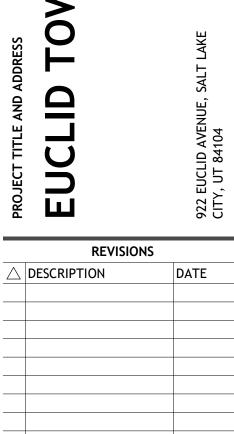
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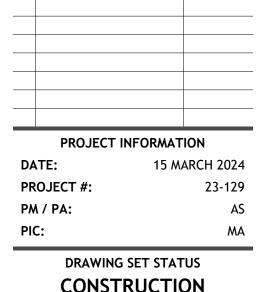
TWO HOUR RATED ASSEMBLY. ASSEMBLY TO EXTEND TO ROOF DECK IN ALL CASES, INCLUDING ROOF OVERBUILDS.

EGREES TRAVEL PATHS

<u>Type</u> EGRESS PATH 1 EGRESS PATH 2 Egress Path Length 49'-6" 76'-8 1/2"

GENERAL NOTES A. SEE SHEET G001 FOR ALL RELATED CODE COMPLIANCE INFORMATION.





CONSTRUCTION **DOCUMENTS**

THIS DRAWING SET IS INTENDED TO BE PRINTED IN COLOR

SHEET TITLE

LIFE SAFETY **PLANS**

> SHEET NUMBER G102

LEVEL 2 LIFE SAFETY PLAN

G102 SCALE: 3777

1

KEYNOTES

03.01 CONCRETE FOUNDATION WALL. SEE STRUCTURAL.
03.04 DASHED LINES INDICATE INSIDE FACE OF CONCRETE FOUNDATION
WALL AT ROLLED SLAB EDGE AT DOOR OR WINDOW OPENINGS.

03.05 CONCRETE SLAB OVER 4" OVER 10 MIL VAPOR RETARDER OVER FREE DRAINING GRAVEL. SEE STRUCTURAL FOR SLAB THICKNESS AND REINFORCING.

09.04 2" RIGID INSULATION WITH 1/8" THICK FOAM STRIPPING AT EDGE OF CONCRETE FLOOR SLAB.



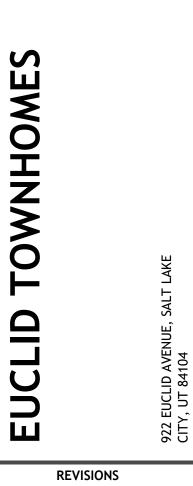
SUITE #105
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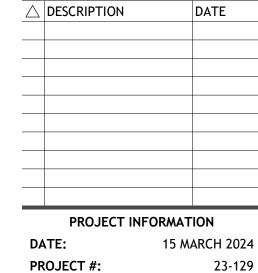
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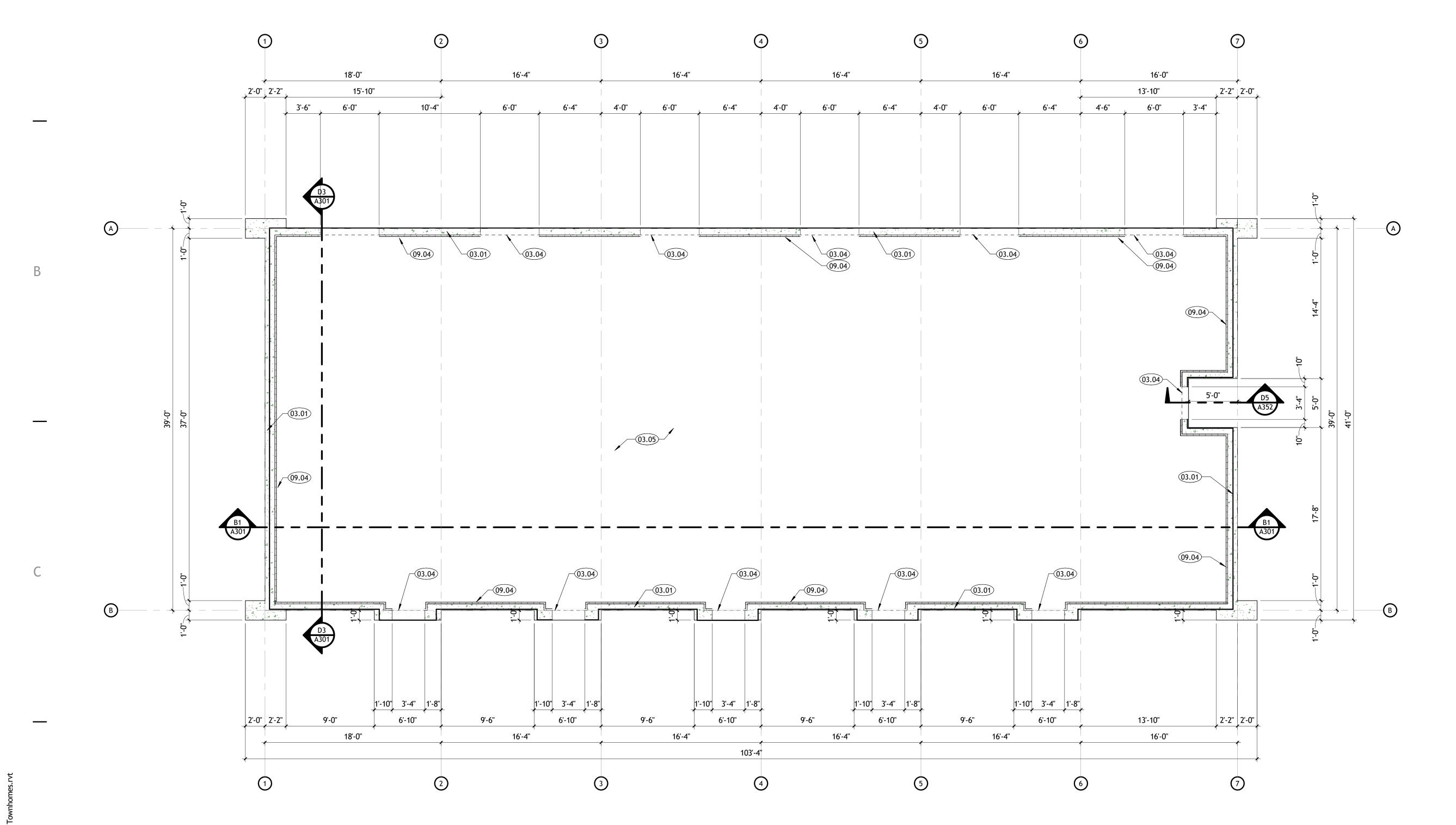
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SHEET TITLE

FOOTING AND FOUNDATION PLAN

SHEET NUMBER

A001



GENERAL NOTES

A. GENERAL CONTRACTOR SHALL VERIFY ALL CONDITIONS AND DIMENSIONS PRIOR TO CONSTRUCTION. REPORT ANY SIGNIFICANT DISCREPANCIES TO THE ARCHITECT.

B. COORDINATE INSTALLATIONS OF ALL "AFTER CONTRACT" ASSEMBLIES WITH OWNER PRIOR TO CONSTRUCTION OF ADJOINING OR RELATED STRUCTURES.

C. RECOMMENDATIONS FOUND IN THE GEOTECHNICAL STUDY PERFORMED ARE TO BE FOLLOWED STRICTLY.D. CONCRETE WALLS RETAINING EARTH TO RECEIVE TWO COATS BITUNIMOUS

DAMP PROOFING MATERIAL.

E. MASONRY TO HAVE CONTROL JOINTS PER STRUCTURAL SHEETS.

F. PROVIDE 2" THICK RIGID INSULATION (R=10.0 MINIMUM), WITH A VERTICAL

DEPTH OF 24" MINIMUM, AROUND THE ENTIRE PERIMETER OF THE BUILDING

FOUNDATION.
G. SEE STRUCTURAL SHEETS FOR FOOTING AND FOUNDATION SIZES AND REINFORCING.

H. SEE ENGINEERING SHEETS FOR ADDITIONAL INFORMATION.

J. PROVIDE CONTROL JOINTS WHERE OCCURS UNDER TILE.

D1 FOOTING AND FOUNDATION PLAN

A001 SCALE: 3/16" = 1'-0"

€N:

KEYNOTES

ADA VAN PARKING SIGN. SEE DETAIL ON SHEET A501. 02.17 ADA PARKING SYMBOL. PAINT COLOR TO BE WHITE. PRE-FINISHED ALUMINUM DOWNSPOUT WITH CONCRETE SPLASH 06.24

07.07 PRE-FINISHED SIMULATED WOOD PRIVACY FENCE. 07.08 PRE-FINISHED SIMULATED WOOD MECHANICAL SCREEN WITH

VERTICAL PAINTED STEEL POSTS.

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IN ALL CASES, INCLUDING ROOF OVERBUILDS.

SEPARATION LEGEND

GENERAL NOTES

- A. GENERAL CONTRACTOR SHALL VERIFY ALL CONDITIONS AND DIMENSIONS PRIOR CONSTRUCTION. REPORT ANY SIGNIFICANT DISCREPANCIES TO THE
- B. COORDINATE INSTALLATIONS OF ALL "AFTER CONTRACT" ASSEMBLIES WITH OWNER PRIOR TO CONSTRUCTION OF ADJOINING OR RELATED STRUCTURES. C. PROVIDE 18" MINIMUM CLEAR FLOOR SPACE AT PULL SIDE OF ALL DOORS.

TWO HOUR RATED ASSEMBLY. ASSEMBLY TO EXTEND TO ROOF DECK

- PROVIDE 12" MINIMUM CLEAR FLOOR SPACE AT PUSH SIDE OF ALL DOORS. D. UNLESS OTHERWISE NOTED OR DIMENSIONED, LOCATE DOORS AS FOLLOWS: MASONRY WALLS- OUTSIDE OF FRAME 8" FROM FACE OF WALL (ON BLOCK
- FRAMED WALLS-INSIDE OF JAMB 4" FROM FINISHED WALL (ADJUST FOR TILE WHERE SHOWN).
- E. CONCRETE FOUNDATION WALLS RETAINING EARTH TO RECEIVE TWO COATS OF BITUMINOUS DAMP PROOFING MATERIAL.
- F. SEE STRUCTURAL, MECHANICAL, AND ELECTRICAL SHEETS FOR ADDITIONAL INFORMATION
- G. SEE INTERIOR ELEVATIONS AND MILLWORK DETAILS ON A403 FOR FINISHES OF MILLWORK BASES, AND COUNTERTOPS
- H. SEE SHEETS A151, A152 FOR REFLECTED CEILING PLAN INFORMATION. I. SEE A601 AND A602 FOR DOOR AND WINDOW INFORMATION. J. GENERAL CONTRACTOR SHALL REVIEW AND APPROVE ALL APPLIANCES WITH
- OWNER PRIOR TO PURCHASING EQUIPMENT AND FABRICATING MILLWORK. K. SEE THE SPECIFICATION FOR ADDITIONAL INFORMATION.
- L. SEE G000 FOR LEGENDS, SYMBOLS, ABBREVIATIONS AND OTHER ARCHITECTURAL GENERAL INFORMATION.
- M. SEE G002 FOR WALL TYPES.
- N. PROVIDE BACKING/BLOCKING FOR WALL MOUNTED ITEMS-INCLUDING GRAB BARS, HANDRAILS, SIGNAGE AND EQUIPMENT AS REQUIRED.
- O. TILE IS TO BE SET OVER CEMENTITIOUS BACKER BOARD UNDERLAYMENT. RECESS SLAB AS/IF REQUIRED. VERIFY WITH OWNER.
- P. DO NOT SCALE DRAWINGS.

REVISIONS △ DESCRIPTION DATE PROJECT INFORMATION

15 MARCH 2024 PROJECT #: PM / PA:

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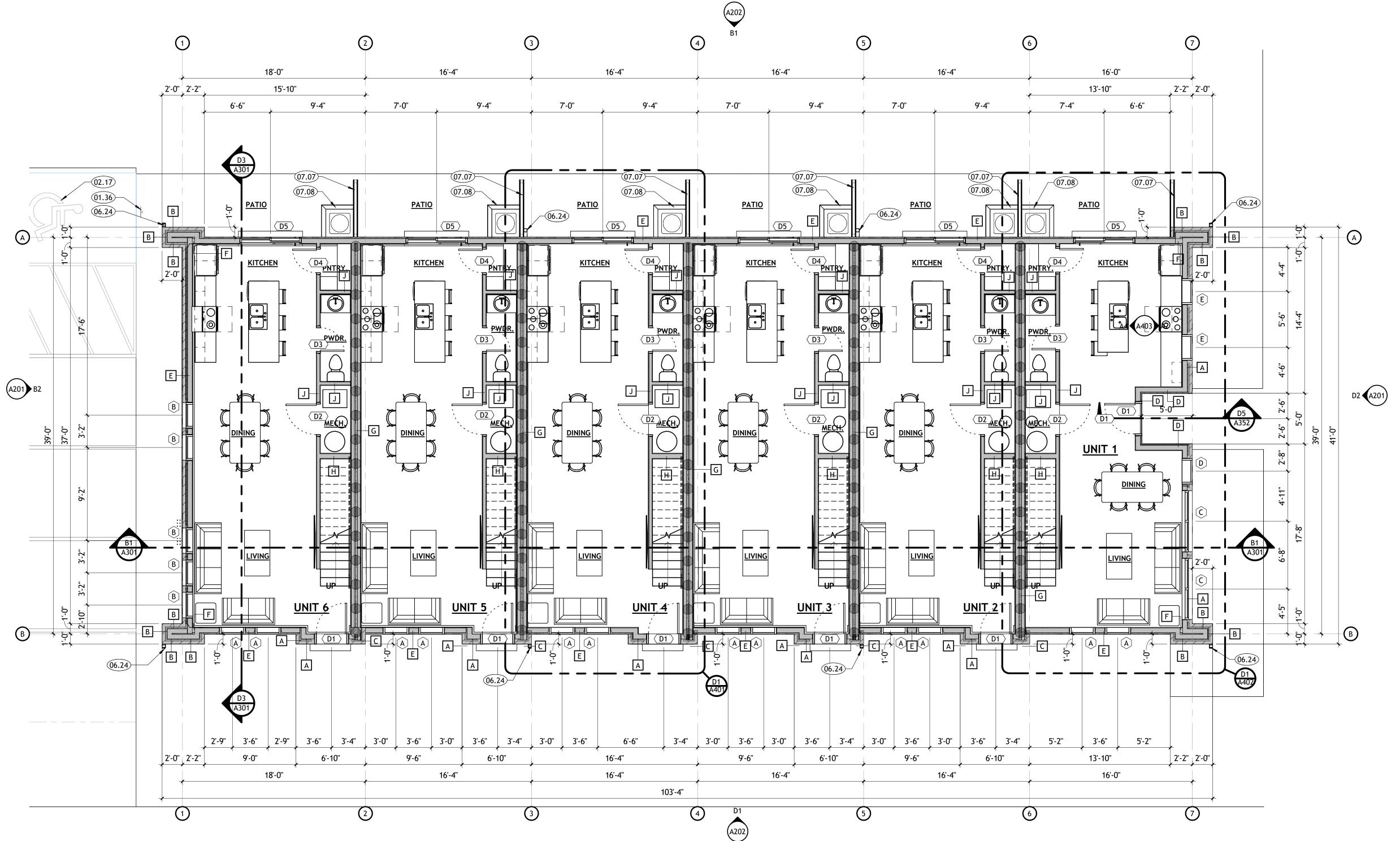
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SHEET TITLE

FLOOR PLAN -LEVEL 1

SHEET NUMBER

A101



FLOOR PLAN - LEVEL 1

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15 MARCH 2024 PROJECT #:

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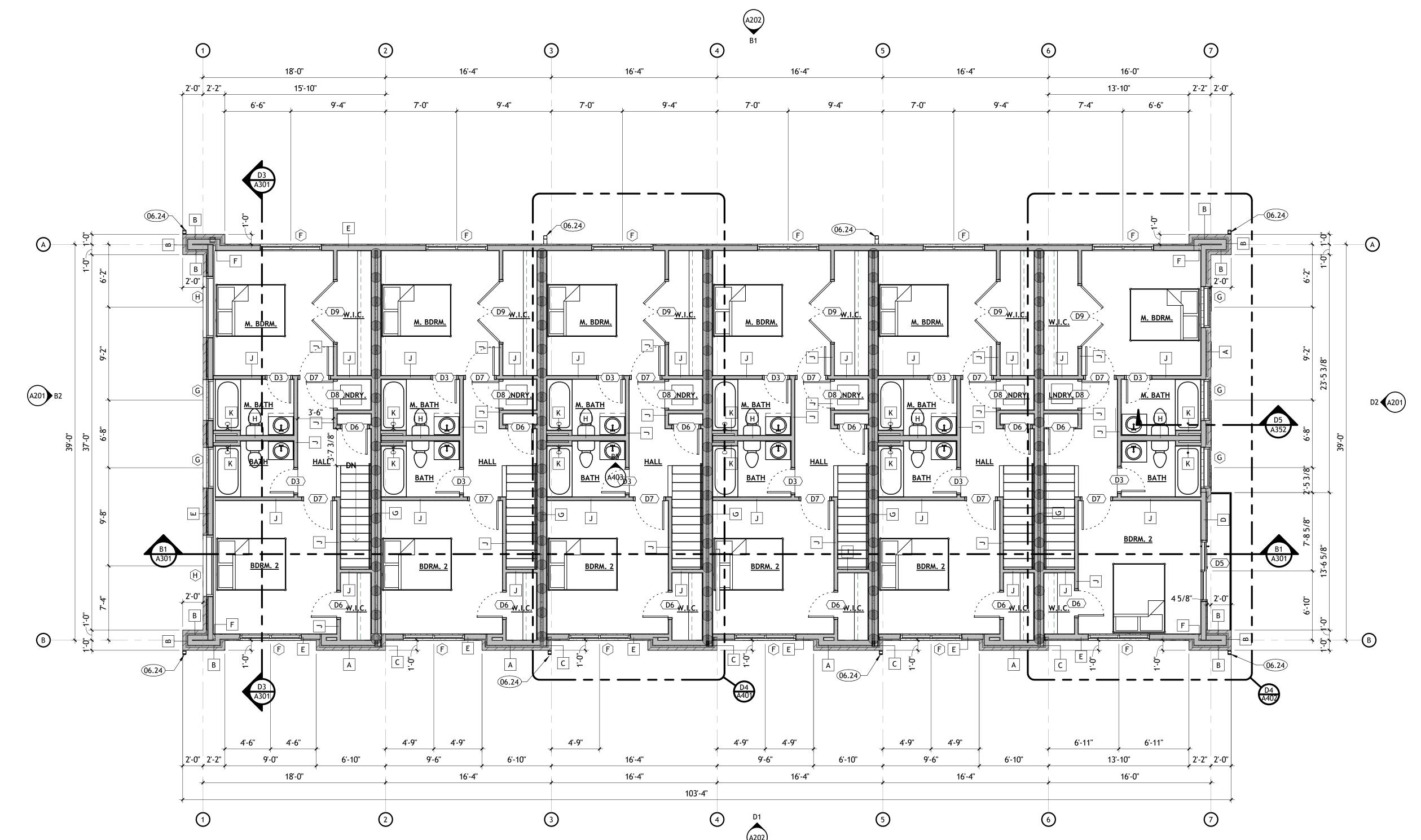
TO BE PRINTED IN COLOR SHEET TITLE

FLOOR PLAN -

LEVEL 2

SHEET NUMBER

A102



SEPARATION LEGEND

TWO HOUR RATED ASSEMBLY. ASSEMBLY TO EXTEND TO ROOF DECK IN ALL CASES, INCLUDING ROOF OVERBUILDS.

GENERAL NOTES

- A. GENERAL CONTRACTOR SHALL VERIFY ALL CONDITIONS AND DIMENSIONS PRIOR CONSTRUCTION. REPORT ANY SIGNIFICANT DISCREPANCIES TO THE
- B. COORDINATE INSTALLATIONS OF ALL "AFTER CONTRACT" ASSEMBLIES WITH OWNER PRIOR TO CONSTRUCTION OF ADJOINING OR RELATED STRUCTURES.
- C. PROVIDE 18" MINIMUM CLEAR FLOOR SPACE AT PULL SIDE OF ALL DOORS. PROVIDE 12" MINIMUM CLEAR FLOOR SPACE AT PUSH SIDE OF ALL DOORS. D. UNLESS OTHERWISE NOTED OR DIMENSIONED, LOCATE DOORS AS FOLLOWS:
- MASONRY WALLS- OUTSIDE OF FRAME 8" FROM FACE OF WALL (ON BLOCK MODULE), FRAMED WALLS-INSIDE OF JAMB 4" FROM FINISHED WALL (ADJUST FOR
- TILE WHERE SHOWN). E. CONCRETE FOUNDATION WALLS RETAINING EARTH TO RECEIVE TWO COATS
- OF BITUMINOUS DAMP PROOFING MATERIAL. F. SEE STRUCTURAL, MECHANICAL, AND ELECTRICAL SHEETS FOR ADDITIONAL
- INFORMATION G. SEE INTERIOR ELEVATIONS AND MILLWORK DETAILS ON A403 FOR FINISHES OF
- MILLWORK BASES, AND COUNTERTOPS H. SEE SHEETS A151, A152 FOR REFLECTED CEILING PLAN INFORMATION.
- I. SEE A601 AND A602 FOR DOOR AND WINDOW INFORMATION. J. GENERAL CONTRACTOR SHALL REVIEW AND APPROVE ALL APPLIANCES WITH OWNER PRIOR TO PURCHASING EQUIPMENT AND FABRICATING MILLWORK.
- K. SEE THE SPECIFICATION FOR ADDITIONAL INFORMATION. L. SEE G000 FOR LEGENDS, SYMBOLS, ABBREVIATIONS AND OTHER
- ARCHITECTURAL GENERAL INFORMATION.
- M. SEE G002 FOR WALL TYPES.
- N. PROVIDE BACKING/BLOCKING FOR WALL MOUNTED ITEMS-INCLUDING GRAB BARS, HANDRAILS, SIGNAGE AND EQUIPMENT AS REQUIRED.
- O. TILE IS TO BE SET OVER CEMENTITIOUS BACKER BOARD UNDERLAYMENT. RECESS SLAB AS/IF REQUIRED. VERIFY WITH OWNER.
- P. DO NOT SCALE DRAWINGS.

A 9'-0 1/2"

UNIT 2

UNIT 1



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TWO HOUR RATED ASSEMBLY. ASSEMBLY TO EXTEND TO ROOF DECK IN ALL CASES, INCLUDING ROOF OVERBUILDS.

CEILING LEGEND

PAINTED 5/8" TYPE "X" GYPSUM BOARD WITH SMOOTH FINISH.

PAINTED 3/8" FIBER CEMENT BOARD WITH PLANK FINISH.

VENTED ALUMINUM SOFFIT PANELS.

OVER PLYWOOD SHEATHING.

PAINTED 3/8" FIBER CEMENT BOARD WITH PLANK FINISH OVER 1" EPS INSULATION

A. GENERAL CONTRACTOR SHALL VERIFY ALL CONDITIONS, DIMENSIONS, AND ASSEMBLIES PRIOR TO CONSTRUCTION. REPORT ANY SIGNIFICANT

D. CEILING HEIGHTS SHOWN ARE ABOVE FINISH FLOOR IN WHICH THEY ARE

E. COORDINATE LOCATION OF MECHANICAL DIFFUSERS IN WALLS WITH

F. PAINT UNDERSIDE OF EXPOSED OPEN CEILING. VERIFY WITH OWNER.

C. SEE ENGINEERING SHEETS FOR ADDITIONAL REQUIREMENTS.

B. MECHANICAL, PLUMBING, ELECTRICAL, AND CEILING SUBCONTRACTORS SHALL

COORDINATE THEIR WORK. IN CASE OF CONFLICT, THE REFLECTED CEILING

REVISIONS △ DESCRIPTION DATE PROJECT INFORMATION DATE: 15 MARCH 2024 PROJECT #: PM / PA:

> DRAWING SET STATUS CONSTRUCTION **DOCUMENTS**

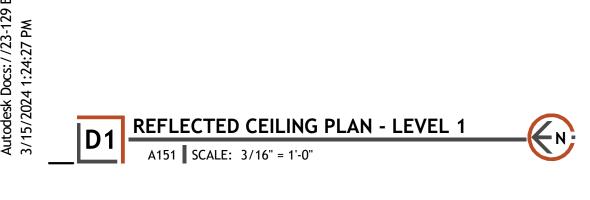
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SHEET TITLE

REFLECTED **CEILING PLAN -**LEVEL 1

SHEET NUMBER

A151



GENERAL NOTES

DISCREPANCIES TO THE ARCHITECT.

PLAN SHALL TAKE PRECEDENCE.

G. DO NOT SCALE DRAWINGS.

A 9'-0 1/2"

UNIT 6

A 9'-0 1/2"

UNIT 5

<u>UNIT 4</u>

UNIT 3

A 9'-0 1/2" SEPARATION LEGEND A 9'-0 1/2" TWO HOUR RATED ASSEMBLY. ASSEMBLY TO EXTEND TO ROOF DECK IN ALL CASES, INCLUDING ROOF OVERBUILDS. 9'-0 1/2" CEILING LEGEND A 9'-0 1/2" 9'-0 1/2" 9'-0 1/2" 9'-0 1/2" A 9'-0 1/2" 9'-0 1/2" PAINTED 5/8" TYPE "X" GYPSUM BOARD WITH SMOOTH FINISH. PAINTED 3/8" FIBER CEMENT BOARD WITH PLANK FINISH. A 9'-0 1/2" VENTED ALUMINUM SOFFIT PANELS. UNIT 6 UNIT 5 UNIT 4 UNIT 3 UNIT 2 PAINTED 3/8" FIBER CEMENT BOARD WITH PLANK FINISH OVER 1" EPS INSULATION OVER PLYWOOD SHEATHING. PM / PA: **GENERAL NOTES** A. GENERAL CONTRACTOR SHALL VERIFY ALL CONDITIONS, DIMENSIONS, AND ASSEMBLIES PRIOR TO CONSTRUCTION. REPORT ANY SIGNIFICANT DISCREPANCIES TO THE ARCHITECT. B. MECHANICAL, PLUMBING, ELECTRICAL, AND CEILING SUBCONTRACTORS SHALL COORDINATE THEIR WORK. IN CASE OF CONFLICT, THE REFLECTED CEILING PLAN SHALL TAKE PRECEDENCE. C. SEE ENGINEERING SHEETS FOR ADDITIONAL REQUIREMENTS. D. CEILING HEIGHTS SHOWN ARE ABOVE FINISH FLOOR IN WHICH THEY ARE CALLED. E. COORDINATE LOCATION OF MECHANICAL DIFFUSERS IN WALLS WITH ARCHITECT. F. PAINT UNDERSIDE OF EXPOSED OPEN CEILING. VERIFY WITH OWNER. G. DO NOT SCALE DRAWINGS.

233 SOUTH PLEASANT GROVE BLVD. **SUITE #105** PLEASANT GROVE, UTAH 84062 PHONE: (801) 769-3000

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CONSULTANT INFORMATION

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> DRAWING SET STATUS CONSTRUCTION **DOCUMENTS**

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SHEET TITLE

REFLECTED **CEILING PLAN -**LEVEL 2

SHEET NUMBER

-04.35 PROVIDED CENTER VENT SOFFIT PANELS

KEYNOTES

ATTIC DRAFTSTOPS OF (2) 1" GYPSUM LINER PANELS. SEE DETAILS ON SHEET A501.

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ATTIC VENTILATION CALCULATIONS

ALL ATTIC SPACE MUST COMPLY WITH IBC 1202.2 WITH A MINIMUM OF 1/150 AREA VENTILATION. 40% MINUMUM UP TO 50% MAXIMUM AREA SHALL BE PROVIDED WITHIN 36" OF THE RIDGE FOR THE HIGH VENTILATED AREA. MINIMUM 50% OF THE REQUIRED VENTILATING OPENINGS IN THE LOWER PORTION OF THE ATTIC SHALL ALSO BE PROVIDEDAND MINIMUM ABOVE EAVE VENTS.

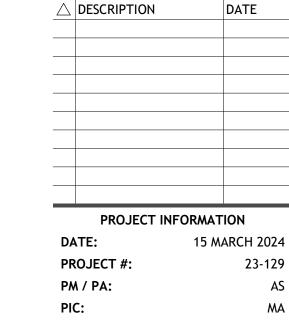
TOTAL ATTIC VENTILATION REQUIRED: 3,857 SQ.FT. / 150 = 25.71 SQ.FT. X 144 = 3,702.72 TOTAL SQ. IN. / 2 = 1,851.36 SQ. IN. HIGH VENTILATION & 1,851.36 SQ. IN. LOW VENTILATION REQUIRED.

TOTAL HIGH ATTIC VENTILATION PROVIDED: 14 (TURTLE VENTS) X 1 SQ.FT. = 14 SQ.FT. X 144 = 2,016 SQ. IN. VENTILATION

TOTAL LOW ATTIC VENTILATION PROVIDED:

SEPARATION LEGEND

TWO HOUR RATED ASSEMBLY. ASSEMBLY TO EXTEND TO ROOF DECK IN ALL CASES, INCLUDING ROOF OVERBUILDS.



DRAWING SET STATUS

CONSTRUCTION

DOCUMENTS

THIS DRAWING SET IS INTENDED

TO BE PRINTED IN COLOR

SHEET TITLE

STOP PLAN

REVISIONS

GENERAL NOTES

- A. GENERAL CONTRACTOR SHALL VERIFY ALL CONDITIONS, DIMENSIONS, AND ASSEMBLIES PRIOR TO CONSTRUCTION. REPORT ANY SIGNIFICANT DISCREPANCIES TO THE ARCHITECT.
- B. MINIMUM ROOF CLASSIFICATION TO BE AS NOTED ON THE CODE ANALYSIS. C. COORDINATE INSTALLATION OF ALL "AFTER CONTRACT" ASSEMBLIES PRIOR TO
- CONSTRUCTION OF ADJOINING OR RELATED STRUCTURES.
- D. MINIMUM ROOF SLOPE TO BE 1/4" PER FOOT.
- E. INSULATE ENTIRE ROOF WITH R-53 BLOWN-IN INSULATION.
- F. DO NOT SCALE DRAWINGS.

ATTIC DRAFT

SHEET NUMBER

A161

ATTIC DRAFT STOP PLAN

KEYNOTES

HATCHED AREA INDICATES FIRE RETARDANT TREATED PLYWOOD 06.18 SHEATHING MINIMUM 4'-0" MEASURED PERPENDICULAR FROM UNIT SEPARATION WALLS. SEE DETAILS ON SHEET A501.

ARCHITECTURAL ASPHALT SHINGLES OVER 30# FELT. PROVIDE WITH ICE AND WATER SHIELD OVER PLYWOOD ROOF SHEATHING AT EAVE AND VALLEYS. SEE STRUCTURAL. INSTALL PER MANUFACTURER'S RECOMMENDATIONS.

RAIN GUTTER WITH 1/8":1'-0" MIN. SLOPE

06.30 12" X 12" MIN. TURTLE VENT.



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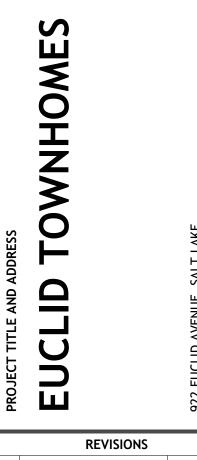
ATTIC VENTILATION CALCULATIONS

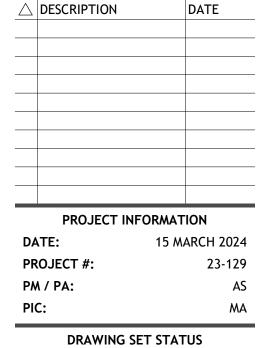
ALL ATTIC SPACE MUST COMPLY WITH IBC 1202.2 WITH A MINIMUM OF 1/150 AREA VENTILATION. 40% MINUMUM UP TO 50% MAXIMUM AREA SHALL BE PROVIDED WITHIN 36" OF THE RIDGE FOR THE HIGH VENTILATED AREA. MINIMUM 50% OF THE REQUIRED VENTILATING OPENINGS IN THE LOWER PORTION OF THE ATTIC SHALL ALSO BE PROVIDEDAND MINIMUM ABOVE EAVE VENTS.

TOTAL ATTIC VENTILATION REQUIRED: 3,857 SQ.FT. / 150 = 25.71 SQ.FT. X 144 = 3,702.72 TOTAL SQ. IN. / 2 = 1,851.36 SQ. IN. HIGH VENTILATION & 1,851.36 SQ. IN. LOW VENTILATION REQUIRED.

TOTAL HIGH ATTIC VENTILATION PROVIDED: 14 (TURTLE VENTS) X 1 SQ.FT. = 14 SQ.FT. X 144 = 2,016 SQ. IN. VENTILATION PROVIDED

TOTAL LOW ATTIC VENTILATION PROVIDED: CENTER VENT SOFFIT PANELS





CONSTRUCTION **DOCUMENTS**

THIS DRAWING SET IS INTENDED TO BE PRINTED IN COLOR

SHEET TITLE

ROOF PLAN

GENERAL NOTES

- A. GENERAL CONTRACTOR SHALL VERIFY ALL CONDITIONS, DIMENSIONS, AND ASSEMBLIES PRIOR TO CONSTRUCTION. REPORT ANY SIGNIFICANT DISCREPANCIES TO THE ARCHITECT.
- B. MINIMUM ROOF CLASSIFICATION TO BE AS NOTED ON THE CODE ANALYSIS.
- C. COORDINATE INSTALLATION OF ALL "AFTER CONTRACT" ASSEMBLIES PRIOR TO
- CONSTRUCTION OF ADJOINING OR RELATED STRUCTURES.
- D. MINIMUM ROOF SLOPE TO BE 1/4" PER FOOT.
- E. INSULATE ENTIRE ROOF WITH R-53 BLOWN-IN INSULATION.
- F. DO NOT SCALE DRAWINGS.

SHEET NUMBER A171

02.02

02.06

02.52

06.24

06.25

07.07

PAINTED STEEL 42" HIGH GUARDRAIL. SEE DETAILS ON SHEET

PRE-FINISHED ALUMINUM DOWNSPOUT WITH CONCRETE SPLASH

TRASH CANS BY OTHERS.

REQUIREMENTS.

A502.

GAS METER LOCATION. SEE CIVIL SITE PLAN.

RAIN GUTTER WITH 1/8":1'-0" MIN. SLOPE

PRE-FINISHED SIMULATED WOOD PRIVACY FENCE.

SEE LEGEND ON SHEET A201 FOR GROUND FLOOR GLASS

ELECTRIC METER LOCATION. SEE CIVIL SITE PLAN.

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STREET-FACING FACADE GLASS CALCULATION

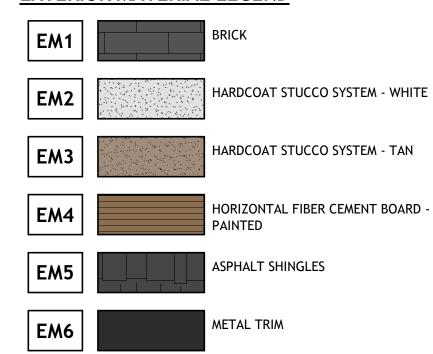
THE GROUND FLOOR BUILDING ELEVATION OF ALL NEW BUILDINGS FACING A STEET SHALL HAVE MINIMUM AMOUNT OF GLASS BETWEEN 3'-0" AND 8'-0" ABOVE GRADE. ALL GROUND FLOOR GLASS SHALL ALLOW UNHAMPERED AND UNOBSTRUCTED VISIBILITY INTO THE BUILDING FOR A DEPTH OF AT LEAST 5'-0".

TSA ZONING DISTRICT (RESIDENTIAL) GLASS PERCENTAGE REQUIRED:

GLASS PERCENTAGE PROVIDED:

502 S.F. (BUILDING ELEVATION AREA) / 93 S.F. (GLASS AREA) = 45%

EXTERIOR MATERIAL LEGEND

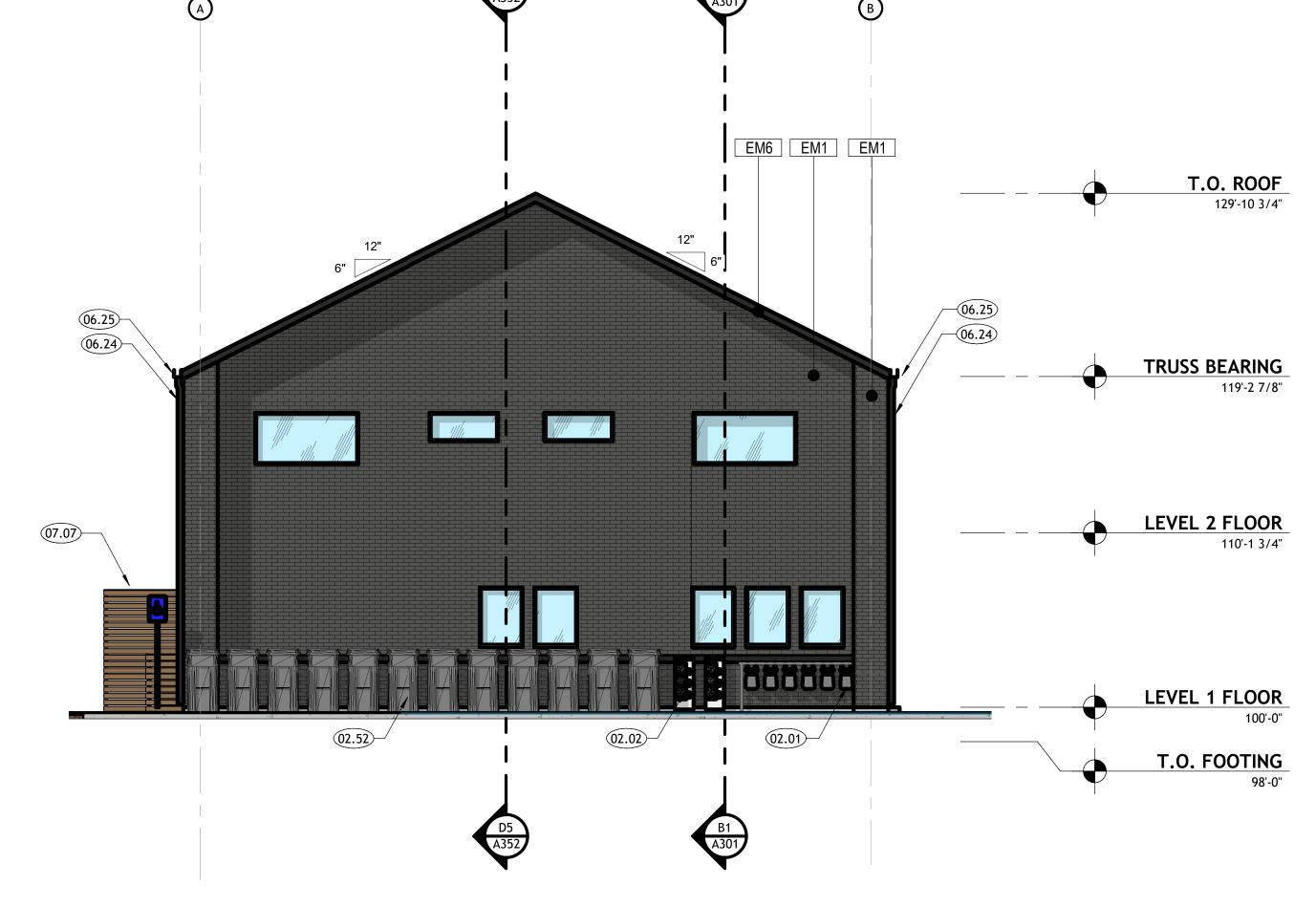


GENERAL NOTES

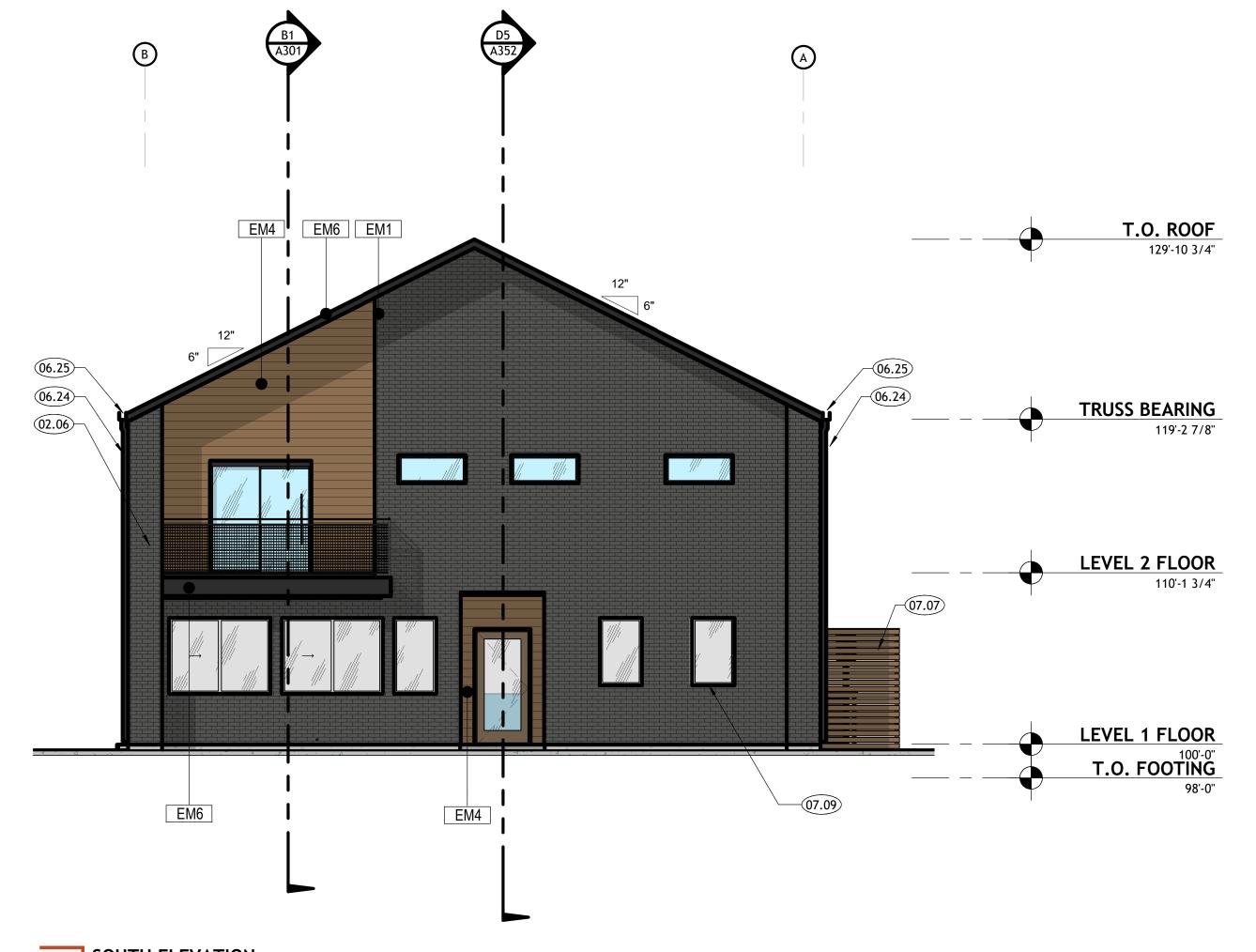
- A. GENERAL CONTRACTOR SHALL VERIFY ALL CONDITIONS, DIMENSIONS, AND ASSEMBLIES PRIOR TO CONSTRUCTION. REPORT ANY SIGNIFICANT DISCREPANCIES TO THE ARCHITECT.
- B. ALL MASONRY WALLS TO HAVE CONTROL JOINTS AT 30'-0" O.C. MAXIMUM. VERIFY WITH STRUCTURAL.
- C. EXPOSED CONCRETE FOUNDATION AND RETAINING WALLS TO RECEIVE RUBBED
- D. CONCRETE WALL RETAINING EARTH TO RECEIVE TWO COATS OF BITUMINOUS

ACCORDANCE WITH CURRENT CITY ORDINANCE. COLOR OF PRE-FINISHED

- DAMP PROOFING MATERIAL. E. PROVIDE PRE-FINISHED NUMBERS ON THE FRONT, EXTERIOR OF THE BUILDING INDICATING THE BUILDING ADDRESS NUMBER ASSIGNED BY THE CITY IN
- NUMBERS TO CONTRAST SIGNIFICANTLY WITH BACKGROUND COLOR OF EXTERIOR WALL. THAT ADDRESS MUST BE PERMANENTLY FASTENED TO THE EXTERIOR OF THE BUILDING PRIOR TO OCCUPANCY. F. SEE CIVIL SHEETS FOR LOCATION OF GAS METER ALONG EXTERIOR WALL.
- G. EXTERIOR SIGNAGE: THE OWNER IS RESPONSIBLE TO OBTAIN A SEPARATE PERMIT FOR ANY EXTERIOR SIGNS IN ACCORDANCE WITH CURRENT CITY SIGN ORDINANCE. THE OWNER IS RESPONSIBLE TO CONTRACT DIRECTLY WITH SIGN VENDORS. SIGN VENDORS SHALL INSTALL THEIR RESPECTIVE SIGNAGE. THE CONTRACTOR IS RESPONSIBLE TO PROVIDE AND COORDINATE ALL BACKING
- AND POWER REQUIREMENTS FOR EACH SIGN. H. NOT ALL SHEET NOTES ARE NECESSARILY USED ON EACH SHEET.







D2 SOUTH ELEVATION

NHOWE Ш

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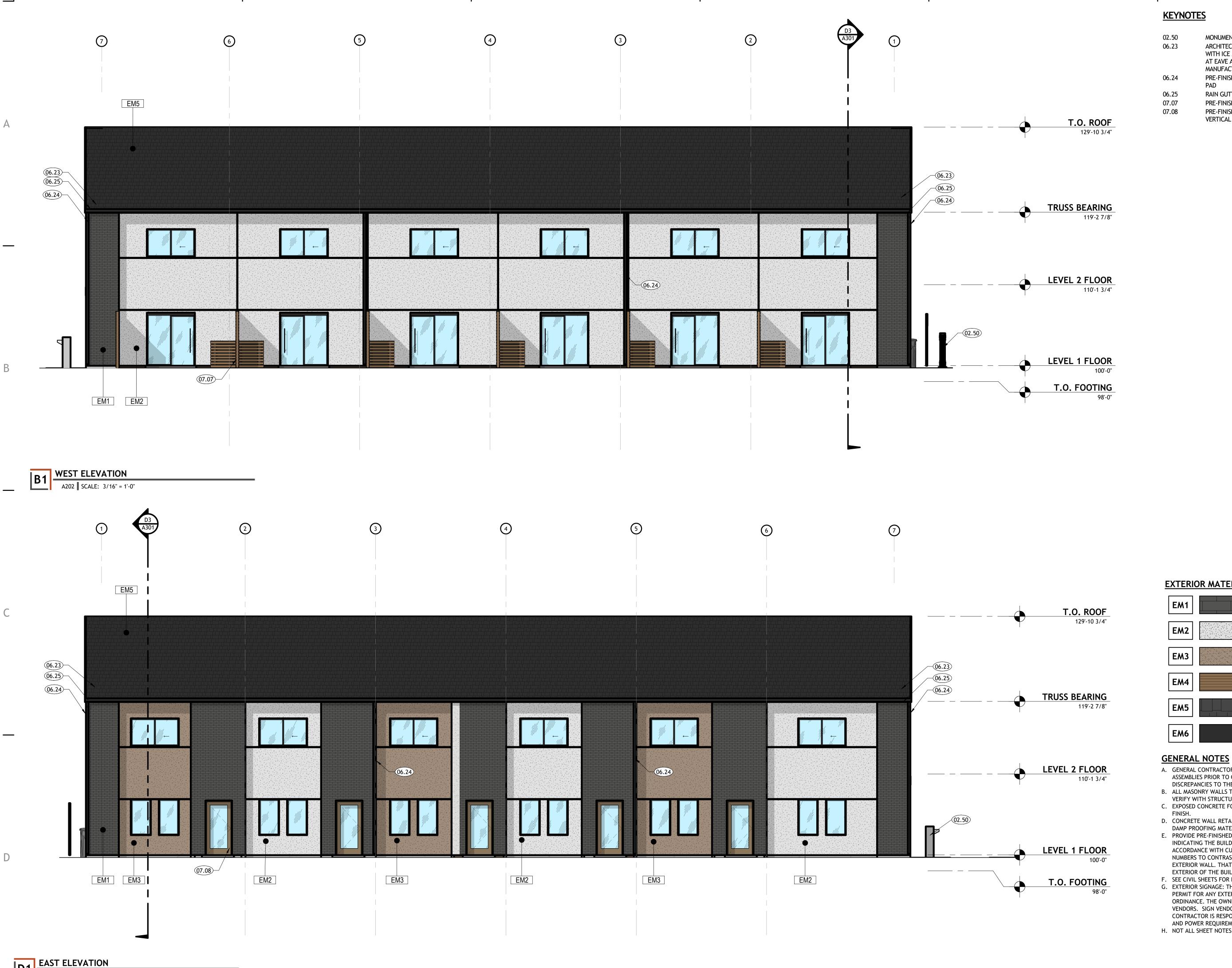
> DRAWING SET STATUS CONSTRUCTION **DOCUMENTS**

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SHEET TITLE

EXTERIOR ELEVATIONS

SHEET NUMBER



KEYNOTES

MONUMENT SIGN LOCATION. 02.50

ARCHITECTURAL ASPHALT SHINGLES OVER 30# FELT. PROVIDE WITH ICE AND WATER SHIELD OVER PLYWOOD ROOF SHEATHING AT EAVE AND VALLEYS. SEE STRUCTURAL. INSTALL PER MANUFACTURER'S RECOMMENDATIONS.

06.24 PRE-FINISHED ALUMINUM DOWNSPOUT WITH CONCRETE SPLASH

06.25 RAIN GUTTER WITH 1/8":1'-0" MIN. SLOPE

07.07 PRE-FINISHED SIMULATED WOOD PRIVACY FENCE.

PRE-FINISHED SIMULATED WOOD MECHANICAL SCREEN WITH

VERTICAL PAINTED STEEL POSTS.

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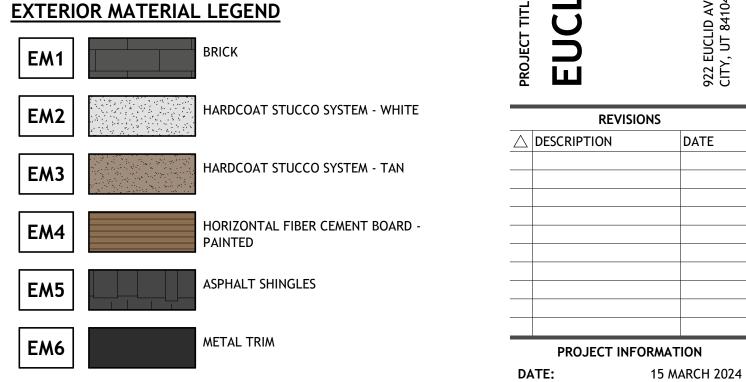
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DISCREPANCIES TO THE ARCHITECT. B. ALL MASONRY WALLS TO HAVE CONTROL JOINTS AT 30'-0" O.C. MAXIMUM.

VERIFY WITH STRUCTURAL. C. EXPOSED CONCRETE FOUNDATION AND RETAINING WALLS TO RECEIVE RUBBED

D. CONCRETE WALL RETAINING EARTH TO RECEIVE TWO COATS OF BITUMINOUS DAMP PROOFING MATERIAL.

E. PROVIDE PRE-FINISHED NUMBERS ON THE FRONT, EXTERIOR OF THE BUILDING INDICATING THE BUILDING ADDRESS NUMBER ASSIGNED BY THE CITY IN ACCORDANCE WITH CURRENT CITY ORDINANCE. COLOR OF PRE-FINISHED NUMBERS TO CONTRAST SIGNIFICANTLY WITH BACKGROUND COLOR OF EXTERIOR WALL. THAT ADDRESS MUST BE PERMANENTLY FASTENED TO THE

EXTERIOR OF THE BUILDING PRIOR TO OCCUPANCY. F. SEE CIVIL SHEETS FOR LOCATION OF GAS METER ALONG EXTERIOR WALL. G. EXTERIOR SIGNAGE: THE OWNER IS RESPONSIBLE TO OBTAIN A SEPARATE PERMIT FOR ANY EXTERIOR SIGNS IN ACCORDANCE WITH CURRENT CITY SIGN ORDINANCE. THE OWNER IS RESPONSIBLE TO CONTRACT DIRECTLY WITH SIGN VENDORS. SIGN VENDORS SHALL INSTALL THEIR RESPECTIVE SIGNAGE. THE CONTRACTOR IS RESPONSIBLE TO PROVIDE AND COORDINATE ALL BACKING

AND POWER REQUIREMENTS FOR EACH SIGN. H. NOT ALL SHEET NOTES ARE NECESSARILY USED ON EACH SHEET.

DRAWING SET STATUS CONSTRUCTION **DOCUMENTS**

THIS DRAWING SET IS INTENDED TO BE PRINTED IN COLOR

SHEET TITLE

EXTERIOR ELEVATIONS

SHEET NUMBER

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B2 EXTERIOR PERSPECTIVE 1

A203 SCALE:



D2 EXTERIOR PERSPECTIVE 2 A203 SCALE:

DATE △ DESCRIPTION PROJECT INFORMATION DATE: 15 MARCH 2024 PROJECT #: PM / PA:

REVISIONS

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D. CONCRETE WALL RETAINING EARTH TO RECEIVE TWO COATS OF BITUMINOUS THIS DRAWING SET IS INTENDED TO BE PRINTED IN COLOR

E. PROVIDE PRE-FINISHED NUMBERS ON THE FRONT, EXTERIOR OF THE BUILDING INDICATING THE BUILDING ADDRESS NUMBER ASSIGNED BY THE CITY IN ACCORDANCE WITH CURRENT CITY ORDINANCE. COLOR OF PRE-FINISHED NUMBERS TO CONTRAST SIGNIFICANTLY WITH BACKGROUND COLOR OF EXTERIOR WALL. THAT ADDRESS MUST BE PERMANENTLY FASTENED TO THE

C. EXPOSED CONCRETE FOUNDATION AND RETAINING WALLS TO RECEIVE RUBBED

A. GENERAL CONTRACTOR SHALL VERIFY ALL CONDITIONS, DIMENSIONS, AND ASSEMBLIES PRIOR TO CONSTRUCTION. REPORT ANY SIGNIFICANT

B. ALL MASONRY WALLS TO HAVE CONTROL JOINTS AT 30'-0" O.C. MAXIMUM.

EXTERIOR OF THE BUILDING PRIOR TO OCCUPANCY. F. SEE CIVIL SHEETS FOR LOCATION OF GAS METER ALONG EXTERIOR WALL. G. EXTERIOR SIGNAGE: THE OWNER IS RESPONSIBLE TO OBTAIN A SEPARATE PERMIT FOR ANY EXTERIOR SIGNS IN ACCORDANCE WITH CURRENT CITY SIGN ORDINANCE. THE OWNER IS RESPONSIBLE TO CONTRACT DIRECTLY WITH SIGN VENDORS. SIGN VENDORS SHALL INSTALL THEIR RESPECTIVE SIGNAGE. THE CONTRACTOR IS RESPONSIBLE TO PROVIDE AND COORDINATE ALL BACKING

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GENERAL NOTES

DISCREPANCIES TO THE ARCHITECT.

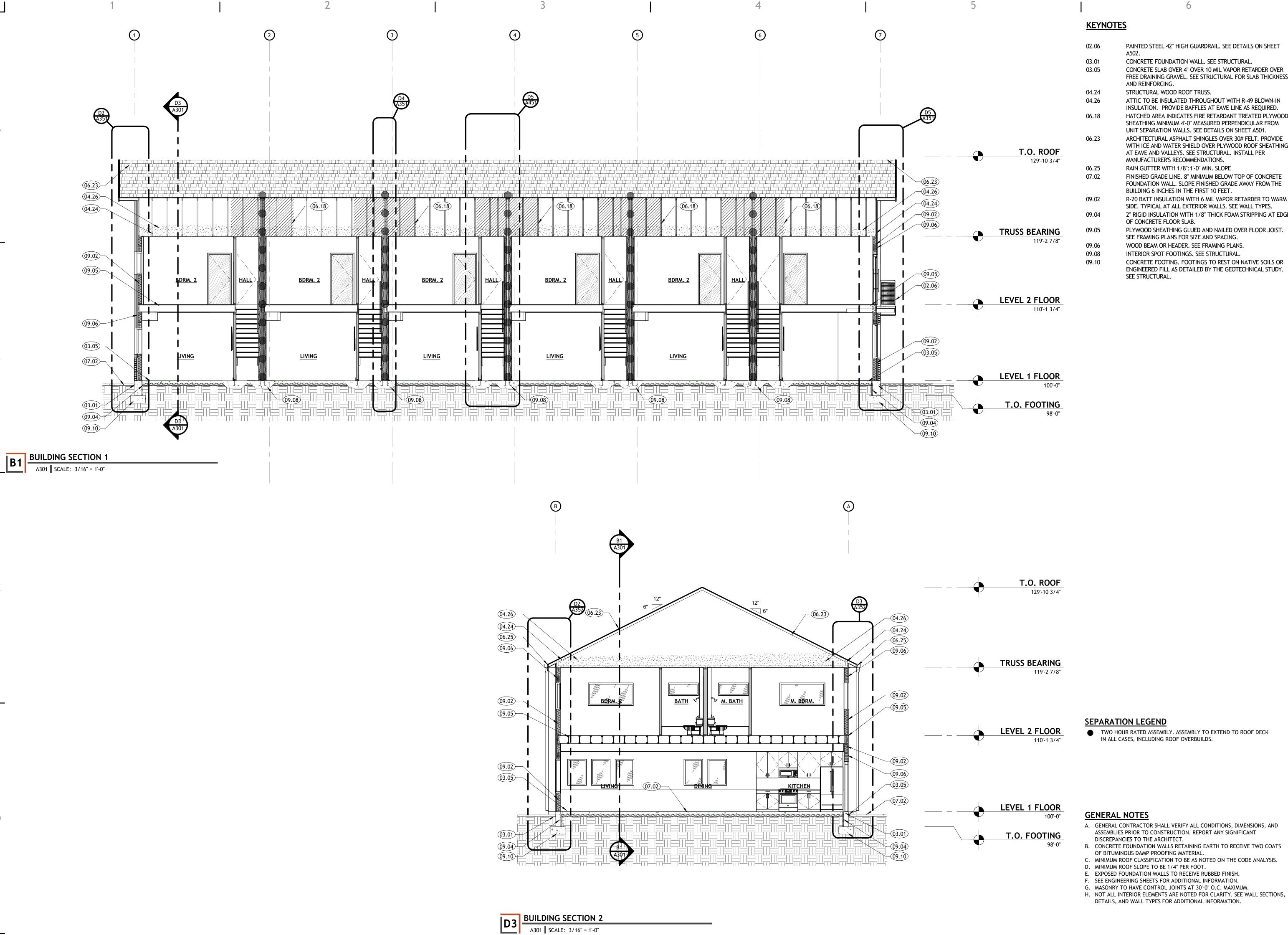
VERIFY WITH STRUCTURAL.

DAMP PROOFING MATERIAL.

EXTERIOR PERSPECTIVES

SHEET TITLE

SHEET NUMBER



PAINTED STEEL 42" HIGH GUARDRAIL. SEE DETAILS ON SHEET

CONCRETE FOUNDATION WALL. SEE STRUCTURAL. CONCRETE SLAB OVER 4" OVER 10 MIL VAPOR RETARDER OVER

FREE DRAINING GRAVEL. SEE STRUCTURAL FOR SLAB THICKNESS AND REINFORCING. STRUCTURAL WOOD ROOF TRUSS.

ATTIC TO BE INSULATED THROUGHOUT WITH R-49 BLOWN-IN INSULATION. PROVIDE BAFFLES AT EAVE LINE AS REQUIRED. HATCHED AREA INDICATES FIRE RETARDANT TREATED PLYWOOD SHEATHING MINIMUM 4'-0" MEASURED PERPENDICULAR FROM

UNIT SEPARATION WALLS. SEE DETAILS ON SHEET A501. ARCHITECTURAL ASPHALT SHINGLES OVER 30# FELT. PROVIDE WITH ICE AND WATER SHIELD OVER PLYWOOD ROOF SHEATHING AT EAVE AND VALLEYS. SEE STRUCTURAL. INSTALL PER MANUFACTURER'S RECOMMENDATIONS.

RAIN GUTTER WITH 1/8":1'-0" MIN. SLOPE FINISHED GRADE LINE. 8" MINIMUM BELOW TOP OF CONCRETE FOUNDATION WALL. SLOPE FINISHED GRADE AWAY FROM THE BUILDING 6 INCHES IN THE FIRST 10 FEET.

R-20 BATT INSULATION WITH 6 MIL VAPOR RETARDER TO WARM SIDE. TYPICAL AT ALL EXTERIOR WALLS. SEE WALL TYPES. 2" RIGID INSULATION WITH 1/8" THICK FOAM STRIPPING AT EDGE OF CONCRETE FLOOR SLAB.

PLYWOOD SHEATHING GLUED AND NAILED OVER FLOOR JOIST. SEE FRAMING PLANS FOR SIZE AND SPACING.

INTERIOR SPOT FOOTINGS. SEE STRUCTURAL. CONCRETE FOOTING. FOOTINGS TO REST ON NATIVE SOILS OR ENGINEERED FILL AS DETAILED BY THE GEOTECHNICAL STUDY. SEE STRUCTURAL.

233 SOUTH PLEASANT GROVE BLVD. SUITE #105

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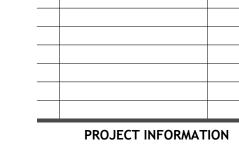
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DATE: 15 MARCH 2024

DATE

DRAWING SET STATUS

CONSTRUCTION **DOCUMENTS**

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SHEET TITLE

BUILDING **SECTIONS**

SHEET NUMBER

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SHEET TITLE

WALL **SECTIONS**

SHEET NUMBER

A351

WALL SECTION A351 SCALE: 3/8" = 1'-0"

WALL SECTION A351 SCALE: 3/8" = 1'-0" T.O. ROOF

ARCHITECTURAL ASPHALT SHINGLES OVER 30#

FELT. PROVIDE WITH ICE AND WATER SHIELD OVER PLYWOOD ROOF SHEATHING AT EAVE AND VALLEYS. SEE STRUCTURAL. INSTALL PER MANUFACTURER'S RECOMMENDATIONS. STRUCTURAL WOOD ROOF TRUSS.

ATTIC TO BE INSULATED THROUGHOUT WITH

WOOD BEAM OR HEADER. SEE FRAMING PLANS.

TRUSS BEARING

LEVEL 2 FLOOR

T.O. FOOTING

LEVEL 1 FLOOR SEPARATION LEGEND

GENERAL NOTES

DISCREPANCIES TO THE ARCHITECT.

OF BITUMINOUS DAMP PROOFING MATERIAL.

E. EXPOSED FOUNDATION WALLS TO RECEIVE RUBBED FINISH. F. SEE ENGINEERING SHEETS FOR ADDITIONAL INFORMATION. G. MASONRY TO HAVE CONTROL JOINTS AT 30'-0" O.C. MAXIMUM.

DETAILS, AND WALL TYPES FOR ADDITIONAL INFORMATION.

D. MINIMUM ROOF SLOPE TO BE 1/4" PER FOOT.

TWO HOUR RATED ASSEMBLY. ASSEMBLY TO EXTEND TO ROOF DECK

A. GENERAL CONTRACTOR SHALL VERIFY ALL CONDITIONS, DIMENSIONS, AND ASSEMBLIES PRIOR TO CONSTRUCTION. REPORT ANY SIGNIFICANT

B. CONCRETE FOUNDATION WALLS RETAINING EARTH TO RECEIVE TWO COATS

C. MINIMUM ROOF CLASSIFICATION TO BE AS NOTED ON THE CODE ANALYSIS.

H. NOT ALL INTERIOR ELEMENTS ARE NOTED FOR CLARITY. SEE WALL SECTIONS,

IN ALL CASES, INCLUDING ROOF OVERBUILDS.

R-49 BLOWN-IN INSULATION. PROVIDE

1" EPS INSULATION OVER STRUCTURAL

DOOR SYSTEM. STYLE AND COLOR TO BE

PAINTED STEEL 42" HIGH GUARDRAIL. SEE

1" EPS INSULATION OVER STRUCTURAL

CONCRETE SLAB OVER 4" OVER 10 MIL VAPOR

RETARDER OVER FREE DRAINING GRAVEL. SEE

STRUCTURAL FOR SLAB THICKNESS AND

CONCRETE FOUNDATION WALL. SEE

2" RIGID INSULATION WITH 1/8" THICK FOAM

CONCRETE FOOTING. FOOTINGS TO REST ON

DETAILED BY THE GEOTECHNICAL STUDY. SEE

NATIVE SOILS OR ENGINEERED FILL AS

STRIPPING AT EDGE OF CONCRETE FLOOR

SHEATHING. SEE WALL TYPES.

REINFORCING.

STRUCTURAL.

STRUCTURAL.

SELECTED BY OWNER.

DETAILS ON SHEET A502.

BAFFLES AT EAVE LINE AS REQUIRED.

STUCCO FINISH. SEE WALL TYPES.

SHEATHING. SEE WALL TYPES.

129'-10 3/4"

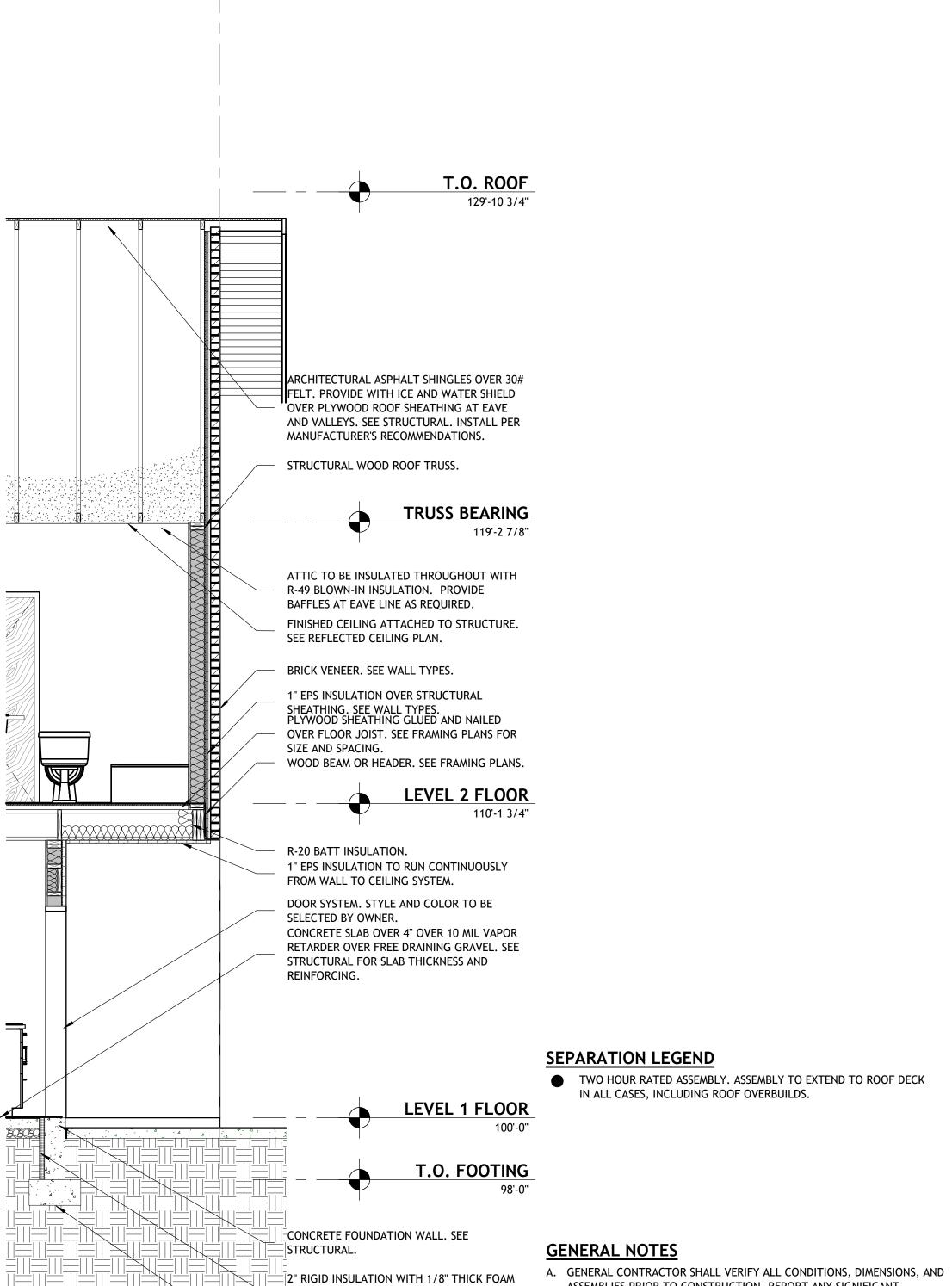
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STRIPPING AT EDGE OF CONCRETE FLOOR

CONCRETE FOOTING. FOOTINGS TO REST ON

DETAILED BY THE GEOTECHNICAL STUDY. SEE

NATIVE SOILS OR ENGINEERED FILL AS

STRUCTURAL.

- ASSEMBLIES PRIOR TO CONSTRUCTION. REPORT ANY SIGNIFICANT
- DISCREPANCIES TO THE ARCHITECT. B. CONCRETE FOUNDATION WALLS RETAINING EARTH TO RECEIVE TWO COATS
- OF BITUMINOUS DAMP PROOFING MATERIAL.
- C. MINIMUM ROOF CLASSIFICATION TO BE AS NOTED ON THE CODE ANALYSIS. D. MINIMUM ROOF SLOPE TO BE 1/4" PER FOOT.
- E. EXPOSED FOUNDATION WALLS TO RECEIVE RUBBED FINISH. F. SEE ENGINEERING SHEETS FOR ADDITIONAL INFORMATION.

DETAILS, AND WALL TYPES FOR ADDITIONAL INFORMATION.

- G. MASONRY TO HAVE CONTROL JOINTS AT 30'-0" O.C. MAXIMUM.
- H. NOT ALL INTERIOR ELEMENTS ARE NOTED FOR CLARITY. SEE WALL SECTIONS,

SHEET NUMBER

Ш

△ DESCRIPTION

DATE:

PM / PA:

PROJECT #:

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PROJECT INFORMATION

DRAWING SET STATUS CONSTRUCTION **DOCUMENTS**

THIS DRAWING SET IS INTENDED

TO BE PRINTED IN COLOR

SHEET TITLE

WALL

SECTIONS

DATE

15 MARCH 2024

A352

ARCHITECTURAL ASPHALT SHINGLES OVER 30#

FELT. PROVIDE WITH ICE AND WATER SHIELD

AND VALLEYS. SEE STRUCTURAL. INSTALL PER

ATTIC TO BE INSULATED THROUGHOUT WITH

OVER PLYWOOD ROOF SHEATHING AT EAVE

MANUFACTURER'S RECOMMENDATIONS.

R-49 BLOWN-IN INSULATION. PROVIDE

BAFFLES AT EAVE LINE AS REQUIRED.

RAIN GUTTER WITH 1/8":1'-0" MIN. SLOPE WOOD BEAM OR HEADER. SEE FRAMING PLANS.

OPERABLE PANEL FOR SLIDING VINYL WINDOW SYSTEM. PROVIDE FIXED WINDOW SCREEN AT

STRUCTURAL WOOD ROOF TRUSS.

STUCCO FINISH. SEE WALL TYPES.

SHEATHING. SEE WALL TYPES.

SEE REFLECTED CEILING PLAN.

STUCCO FINISH. SEE WALL TYPES.

1" EPS INSULATION OVER STRUCTURAL

PLYWOOD SHEATHING GLUED AND NAILED

OVER FLOOR JOIST. SEE FRAMING PLANS FOR

FINISHED CEILING ATTACHED TO STRUCTURE.

FIXED VINYL FRAMED WINDOW SYSTEM. STYLE

CONCRETE SLAB OVER 4" OVER 10 MIL VAPOR

RETARDER OVER FREE DRAINING GRAVEL. SEE

FINISHED GRADE LINE. 8" MINIMUM BELOW TOP OF CONCRETE FOUNDATION WALL. SLOPE

FINISHED GRADE AWAY FROM THE BUILDING 6

AND COLOR TO BE SELECTED BY OWNER.

1" EPS INSULATION OVER STRUCTURAL

STRUCTURAL FOR SLAB THICKNESS AND

SHEATHING. SEE WALL TYPES.

INCHES IN THE FIRST 10 FEET.

CONCRETE FOUNDATION WALL. SEE

2" RIGID INSULATION WITH 1/8" THICK FOAM

CONCRETE FOOTING. FOOTINGS TO REST ON

DETAILED BY THE GEOTECHNICAL STUDY. SEE

NATIVE SOILS OR ENGINEERED FILL AS

STRIPPING AT EDGE OF CONCRETE FLOOR

REINFORCING.

STRUCTURAL.

STRUCTURAL.

OPERABLE PANEL.

SIZE AND SPACING.

ARCHITECTURAL ASPHALT SHINGLES OVER 30# FELT. PROVIDE WITH ICE AND WATER SHIELD

AND VALLEYS. SEE STRUCTURAL. INSTALL PER

ATTIC TO BE INSULATED THROUGHOUT WITH

WOOD BEAM OR HEADER. SEE FRAMING PLANS.

OPERABLE PANEL FOR SLIDING VINYL WINDOW

SYSTEM. PROVIDE FIXED WINDOW SCREEN AT

1" EPS INSULATION OVER STRUCTURAL

PLYWOOD SHEATHING GLUED AND NAILED

OVER FLOOR JOIST. SEE FRAMING PLANS FOR

WOOD BEAM OR HEADER. SEE FRAMING PLANS.

CONCRETE SLAB OVER 4" OVER 10 MIL VAPOR

RETARDER OVER FREE DRAINING GRAVEL. SEE

DOOR SYSTEM. STYLE AND COLOR TO BE

STRUCTURAL FOR SLAB THICKNESS AND

CONCRETE FOUNDATION WALL. SEE

2" RIGID INSULATION WITH 1/8" THICK FOAM

CONCRETE FOOTING. FOOTINGS TO REST ON

DETAILED BY THE GEOTECHNICAL STUDY. SEE

NATIVE SOILS OR ENGINEERED FILL AS

STRIPPING AT EDGE OF CONCRETE FLOOR

SELECTED BY OWNER.

REINFORCING.

STRUCTURAL.

STRUCTURAL.

SHEATHING. SEE WALL TYPES.

STUCCO FINISH. SEE WALL TYPES.

SHEATHING. SEE WALL TYPES.

1" EPS INSULATION OVER STRUCTURAL

OPERABLE PANEL.

SIZE AND SPACING.

TRUSS BEARING

LEVEL 2 FLOOR

LEVEL 1 FLOOR

T.O. FOOTING

RAIN GUTTER WITH 1/8":1'-0" MIN. SLOPE

OVER PLYWOOD ROOF SHEATHING AT EAVE

MANUFACTURER'S RECOMMENDATIONS.

R-49 BLOWN-IN INSULATION. PROVIDE

BAFFLES AT EAVE LINE AS REQUIRED.

STRUCTURAL WOOD ROOF TRUSS.

MALL SECTION

A352 | SCALE: 3/8" = A352 SCALE: 3/8" = 1'-0"

TRUSS BEARING

LEVEL 2 FLOOR

LEVEL 1 FLOOR

119'-2 7/8"

KEYNOTES

O4.11 CLOTHES HANGER ROD WITH PAINTED WOOD SHELF ABOVE
 O4.40 PREFINISHED WOOD HANDRAIL 36" ABOVE FINISHED FLOOR OR NOSE OF STAIRS. SEE TYPICAL DETAILS ON SHEET A452
 O4.43 TWO PIECE ELONGATED, CHAIR HEIGHT TOILET W/ PLASTIC LID O7.07 PRE-FINISHED SIMULATED WOOD PRIVACY FENCE.

07.08 PRE-FINISHED SIMULATED WOOD MECHANICAL SCREEN WITH VERTICAL PAINTED STEEL POSTS.

10.07 FURNITURE. OWNER FURNISHED, OWNER INSTALLED.
10.20 30" ELECTRIC SLIDE IN RANGE

10.20 30" ELECTRIC SLIDE IN RANGE 10.26 36" COUNTER DEPTH 3-DOOR REFRIGERATOR

10.32 24" BAR HANDLE DISHWASHER
 10.34 PULL-DOWN SINGLE-HANDLE KITCHEN FAUCET
 10.35 TWO HANDLE LAVATORY FAUCET W/ UNDERMOUNT LAVATORY

10.35 TWO HANDLE LAVATORY FAUCET W/ UNDERMOUNT LAVATOR

10.38 18" DEEP CLOSET SHELVING WITH PAINTED WOOD SHELVES

PROFESSIONAL STAMP

233 SOUTH PLEASANT GROVE BLVD.

SUITE #105 PLEASANT GROVE, UTAH 84062

PHONE: (801) 769-3000

core@corearch.com

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NOT FOR CONSTRUCTION

CONSULTANT INFORMATION

UNIT FINISH LEGEND SEE INTERIOR FINISH ELEVATIONS FOR EXTENT OF FINISHES		FLOOR MILLWRK		BASE CEILING	WALL DOOR
CODE	MATERIAL	CODE	MATE	ERIAL	
F1	BROADLOOM CARPET OVER FIRM PAD	M1	COLOR: TBD CABINET PULL:		
F2	LUXURY VINYL PLANK		COUN	FINISH: TBD <u>COUNTERTOP FINISH</u> : QUARTZ SELECT, TBD	
B1	4 1/2" PAINTED MDF BASE: SHERWIN WILLIAMS, TBD	M2	M2 PAINTED MDF:		
W1	PAINTED GYPSUM BOARD: SMOOTH TEXTURE	7412	SHERWIN WILLIAMS, TBD		
	SHERWIN WILLIAMS, TBD	CL1	SMOO	<u>ED GYPSUM</u> TH TEXTUR WIN WILLIA	E
W2	PORCELAIN TILE				
		D1	SHERV	WIN WILLIA	MS, TBD

PROJECT TITLE AND ADDRESS

EUCLID TOWNHOMES

922 EUCLID AVENUE, SALT LAKE
CITY, UT 84104

RE	VISIONS					
△ DESCRIPTION		DATE				
PROJECT INFORMATION						
DATE:	15 M	15 MARCH 2024				
PROJECT #:		23-129				
PM / PA:		AS				

GENERAL NOTES

- A. GENERAL CONTRACTOR SHALL VERIFY ALL CONDITIONS AND DIMENSIONS PRIOR TO CONSTRUCTION. REPORT ANY SIGNIFICANT DISCREPANCIES TO THE ARCHITECT.
- B. COORDINATE INSTALLATIONS OF ALL "AFTER CONTRACT" ASSEMBLIES WITH OWNER PRIOR TO CONSTRUCTION OF ADJOINING OR RELATED STRUCTURES.
- PROVIDE 12" MINIMUM CLEAR FLOOR SPACE AT PUSH SIDE OF ALL DOORS.

 D. UNLESS OTHERWISE NOTED OR DIMENSIONED, LOCATE DOORS AS FOLLOWS:
 MASONRY WALLS- OUTSIDE OF FRAME 8" FROM FACE OF WALL (ON BLOCK
 MODULE), FRAMED WALLS-INSIDE OF JAMB 4" FROM FINISHED WALL (ADJUST

C. PROVIDE 18" MINIMUM CLEAR FLOOR SPACE AT PULL SIDE OF ALL DOORS.

- FOR TILE WHERE SHOWN).

 E. SEE INTERIOR ELEVATIONS AND MILLWORK DETAILS ON A403 FOR FINISHES OF
- MILLWORK BASES, AND COUNTERTOPS.

 F. SEE SHEETS A151, AND A152 FOR REFLECTED CEILING PLAN INFORMATION.
- G. SEE A601 AND A602 FOR DOOR AND WINDOW INFORMATION.
- H. GENERAL CONTRACTOR SHALL REVIEW AND APPROVE ALL APPLIANCES WITH OWNER PRIOR TO PURCHASING EQUIPMENT AND FABRICATING MILLWORK.
- I. SEE G000 FOR LEGENDS, SYMBOLS, ABBREVIATIONS AND OTHER ARCHITECTURAL GENERAL INFORMATION.
- J. SEE G002 FOR WALL TYPES.
- K. PROVIDE BACKING/BLOCKING FOR WALL MOUNTED ITEMS-INCLUDING
- HANDRAILS, SIGNAGE, AND EQUIPMENT AS REQUIRED.

 L. RECESS SLAB AS/IF REQUIRED. VERIFY WITH OWNER.
- M. DO NOT SCALE DRAWINGS.

ENLARGED
UNIT PLANS

DRAWING SET STATUS

CONSTRUCTION

DOCUMENTS

THIS DRAWING SET IS INTENDED

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SHEET TITLE

SHEET NUMBER

PWDR.

MECH. 147

SIDE ENTRY UNIT PLAN - LEVEL 1

2'-6 5/8"

KEYNOTES

PAINTED STEEL 42" HIGH GUARDRAIL. SEE DETAILS ON SHEET 02.06

04.11 CLOTHES HANGER ROD WITH PAINTED WOOD SHELF ABOVE 04.40 PREFINISHED WOOD HANDRAIL 36" ABOVE FINISHED FLOOR OR NOSE OF STAIRS. SEE TYPICAL DETAILS ON SHEET A452

TWO PIECE ELONGATED, CHAIR HEIGHT TOILET W/ PLASTIC LID 07.07 PRE-FINISHED SIMULATED WOOD PRIVACY FENCE. PRE-FINISHED SIMULATED WOOD MECHANICAL SCREEN WITH

VERTICAL PAINTED STEEL POSTS. 10.07 FURNITURE. OWNER FURNISHED, OWNER INSTALLED. 10.20 30" ELECTRIC SLIDE IN RANGE

10.26 36" COUNTER DEPTH 3-DOOR REFRIGERATOR 10.30 STACKED CLOTHES WASHER AND DRYER 10.32 24" BAR HANDLE DISHWASHER

10.34 PULL-DOWN SINGLE-HANDLE KITCHEN FAUCET 10.35

TWO HANDLE LAVATORY FAUCET W/ UNDERMOUNT LAVATORY 10.38

18" DEEP CLOSET SHELVING WITH PAINTED WOOD SHELVES

NOT FOR CONSTRUCTION

233 SOUTH PLEASANT GROVE BLVD. SUITE #105 PLEASANT GROVE, UTAH 84062

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PROFESSIONAL STAMP

CONSULTANT INFORMATION

UNIT FINISH LEGEND SEE INTERIOR FINISH ELEVATIONS FOR EXTENT OF FINISHES		FLOOR MILLWRK		BASE CEILING	WALL DOOR
CODE	MATERIAL	CODE	MATE	ERIAL	
F1	BROADLOOM CARPET OVER FIRM PAD	M1	COLOR: TBD CABINET PULL:		
F2	LUXURY VINYL PLANK		COUN	SH: TBD <u>NTERTOP FINISH</u> : RTZ SELECT, TBD	
B1	4 1/2" PAINTED MDF BASE: SHERWIN WILLIAMS, TBD	142	AA2 PAINTED MDF:		
W1	PAINTED GYPSUM BOARD: SMOOTH TEXTURE	M2	SHERWIN WILLIAMS, TBD		MS, TBD
	SHERWIN WILLIAMS, TBD	CL1	PAINTED GYPSUM BOARD: SMOOTH TEXTURE SHERWIN WILLIAMS, TBD		KE.
W2	PORCELAIN TILE	D1	SHERV	WIN WILLIA	MS, TBD

REVISIONS DATE △ DESCRIPTION PROJECT INFORMATION DATE: 15 MARCH 2024

DRAWING SET STATUS

CONSTRUCTION

DOCUMENTS

THIS DRAWING SET IS INTENDED

TO BE PRINTED IN COLOR

SHEET TITLE

PROJECT #:

PM / PA:

GENERAL NOTES

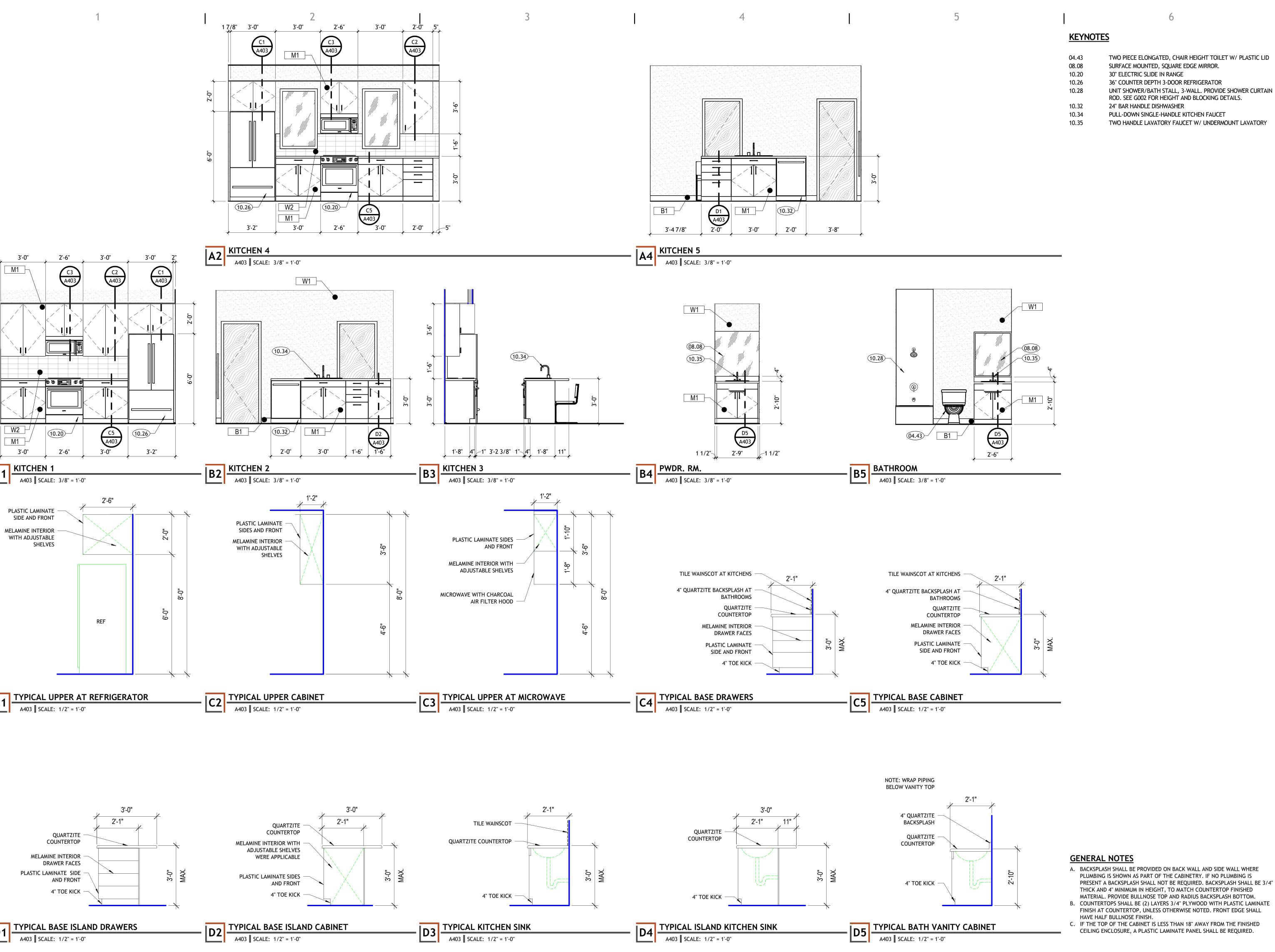
- A. GENERAL CONTRACTOR SHALL VERIFY ALL CONDITIONS AND DIMENSIONS PRIOR TO CONSTRUCTION. REPORT ANY SIGNIFICANT DISCREPANCIES TO THE
- B. COORDINATE INSTALLATIONS OF ALL "AFTER CONTRACT" ASSEMBLIES WITH OWNER PRIOR TO CONSTRUCTION OF ADJOINING OR RELATED STRUCTURES.
- C. PROVIDE 18" MINIMUM CLEAR FLOOR SPACE AT PULL SIDE OF ALL DOORS. PROVIDE 12" MINIMUM CLEAR FLOOR SPACE AT PUSH SIDE OF ALL DOORS.
- D. UNLESS OTHERWISE NOTED OR DIMENSIONED, LOCATE DOORS AS FOLLOWS: MASONRY WALLS- OUTSIDE OF FRAME 8" FROM FACE OF WALL (ON BLOCK MODULE), FRAMED WALLS-INSIDE OF JAMB 4" FROM FINISHED WALL (ADJUST FOR TILE WHERE SHOWN).
- E. SEE INTERIOR ELEVATIONS AND MILLWORK DETAILS ON A403 FOR FINISHES OF MILLWORK BASES, AND COUNTERTOPS.
- F. SEE SHEETS A151, AND A152 FOR REFLECTED CEILING PLAN INFORMATION.
- G. SEE A601 AND A602 FOR DOOR AND WINDOW INFORMATION.
- H. GENERAL CONTRACTOR SHALL REVIEW AND APPROVE ALL APPLIANCES WITH OWNER PRIOR TO PURCHASING EQUIPMENT AND FABRICATING MILLWORK.
- I. SEE G000 FOR LEGENDS, SYMBOLS, ABBREVIATIONS AND OTHER ARCHITECTURAL GENERAL INFORMATION.
- J. SEE G002 FOR WALL TYPES.
- K. PROVIDE BACKING/BLOCKING FOR WALL MOUNTED ITEMS-INCLUDING HANDRAILS, SIGNAGE, AND EQUIPMENT AS REQUIRED.
- L. RECESS SLAB AS/IF REQUIRED. VERIFY WITH OWNER. M. DO NOT SCALE DRAWINGS.

ENLARGED SIDE ENTRY **UNIT PLANS**

SHEET NUMBER

A402

SITE ENTRY UNIT PLAN - LEVEL 2 A402 SCALE: 3/8" = 1'-0"



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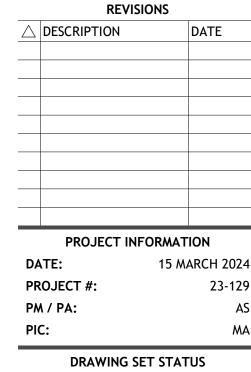
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CONSTRUCTION **DOCUMENTS**

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SHEET TITLE

INTERIOR ELEVATIONS & MILLWORK DETAILS

SHEET NUMBER

T.O. ROOF

TRUSS BEARING

110'-1 3/4"

129'-10 3/4"

KEYNOTES

PREFINISHED WOOD HANDRAIL 36" ABOVE FINISHED FLOOR OR NOSE OF STAIRS. SEE TYPICAL DETAILS ON SHEET A452 PRE-FINISHED WOOD STAIR STRINGERS. SEE TYPICAL DETAILS ON SHEET A452

WOOD BEAM OR HEADER. SEE FRAMING PLANS.

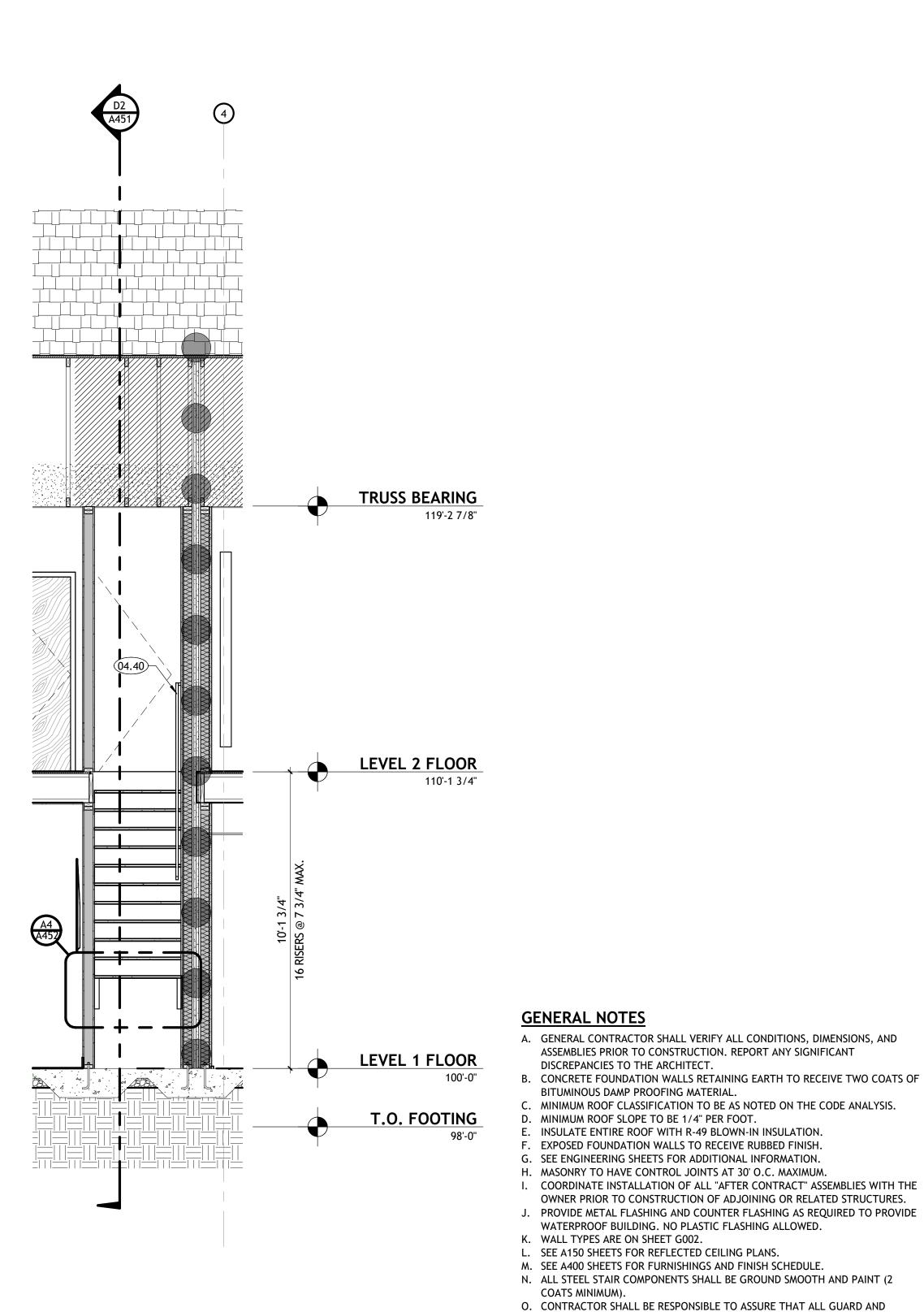
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DOCUMENTS

TO BE PRINTED IN COLOR

SHEET TITLE

STAIR PLANS & **SECTIONS**

A451



TYPICAL STAIR PLAN - LEVEL 2

TYPICAL STAIR PLAN - LEVEL 1

BBBBBBBBBBBB

D5 STAIR SECTION 1

A451 SCALE: 3/8" = 1'-0"

△ DESCRIPTION

PM / PA:

DRAWING SET STATUS CONSTRUCTION

THIS DRAWING SET IS INTENDED

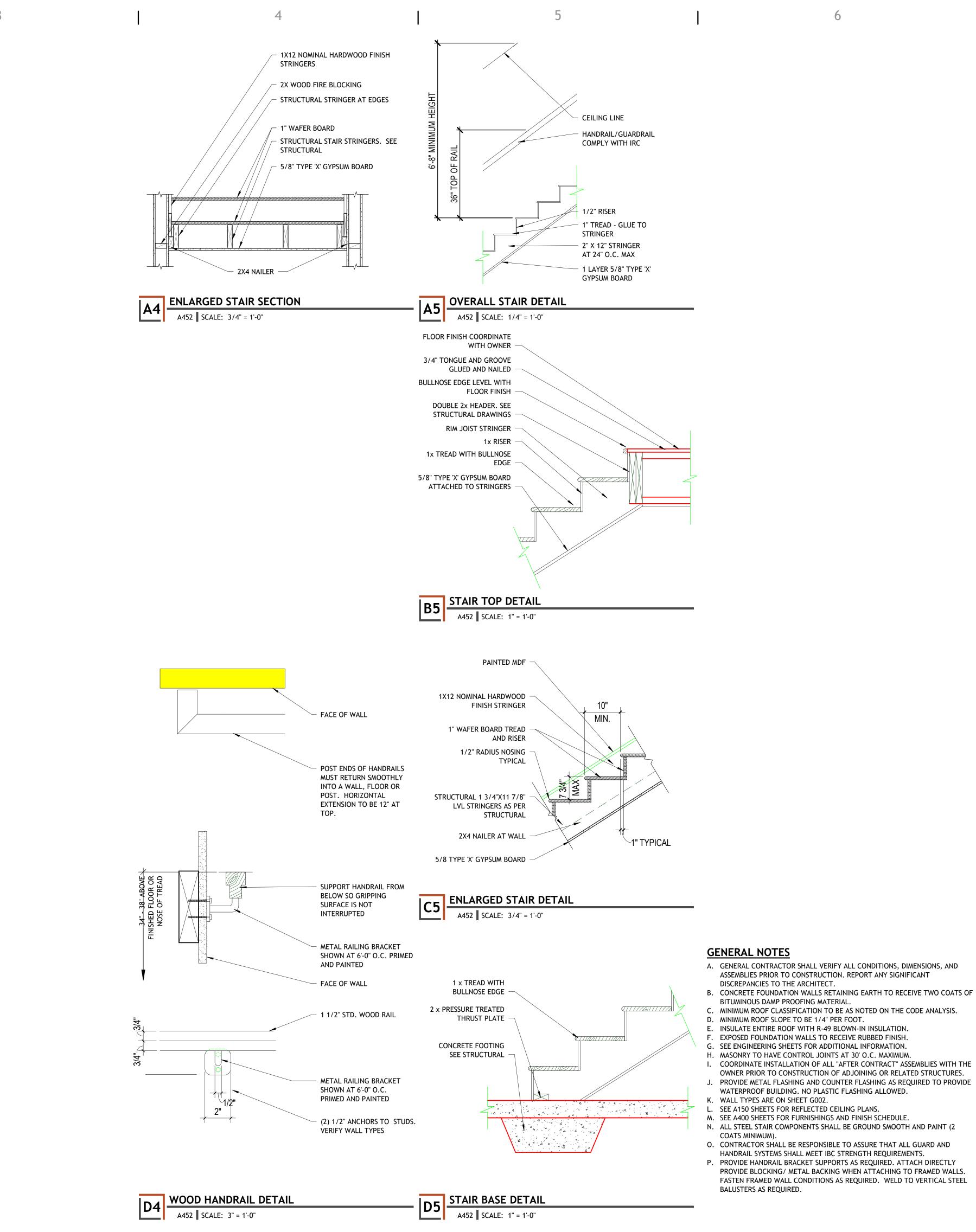
SHEET NUMBER

HANDRAIL SYSTEMS SHALL MEET IBC STRENGTH REQUIREMENTS. P. PROVIDE HANDRAIL BRACKET SUPPORTS AS REQUIRED. ATTACH DIRECTLY

BALUSTERS AS REQUIRED.

PROVIDE BLOCKING/ METAL BACKING WHEN ATTACHING TO FRAMED WALLS.

FASTEN FRAMED WALL CONDITIONS AS REQUIRED. WELD TO VERTICAL STEEL



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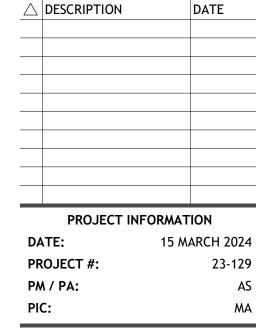
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REVISIONS

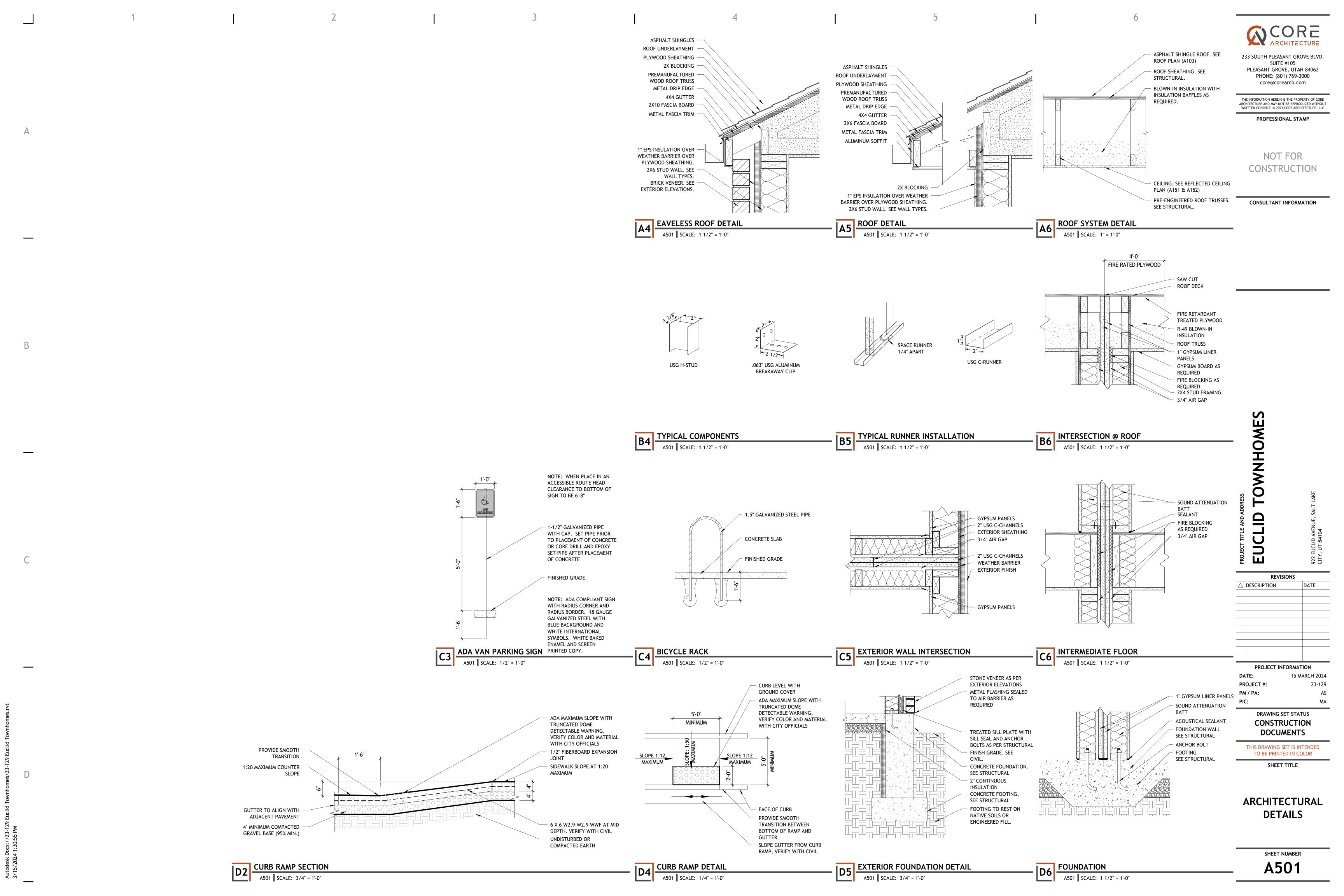
DRAWING SET STATUS CONSTRUCTION **DOCUMENTS**

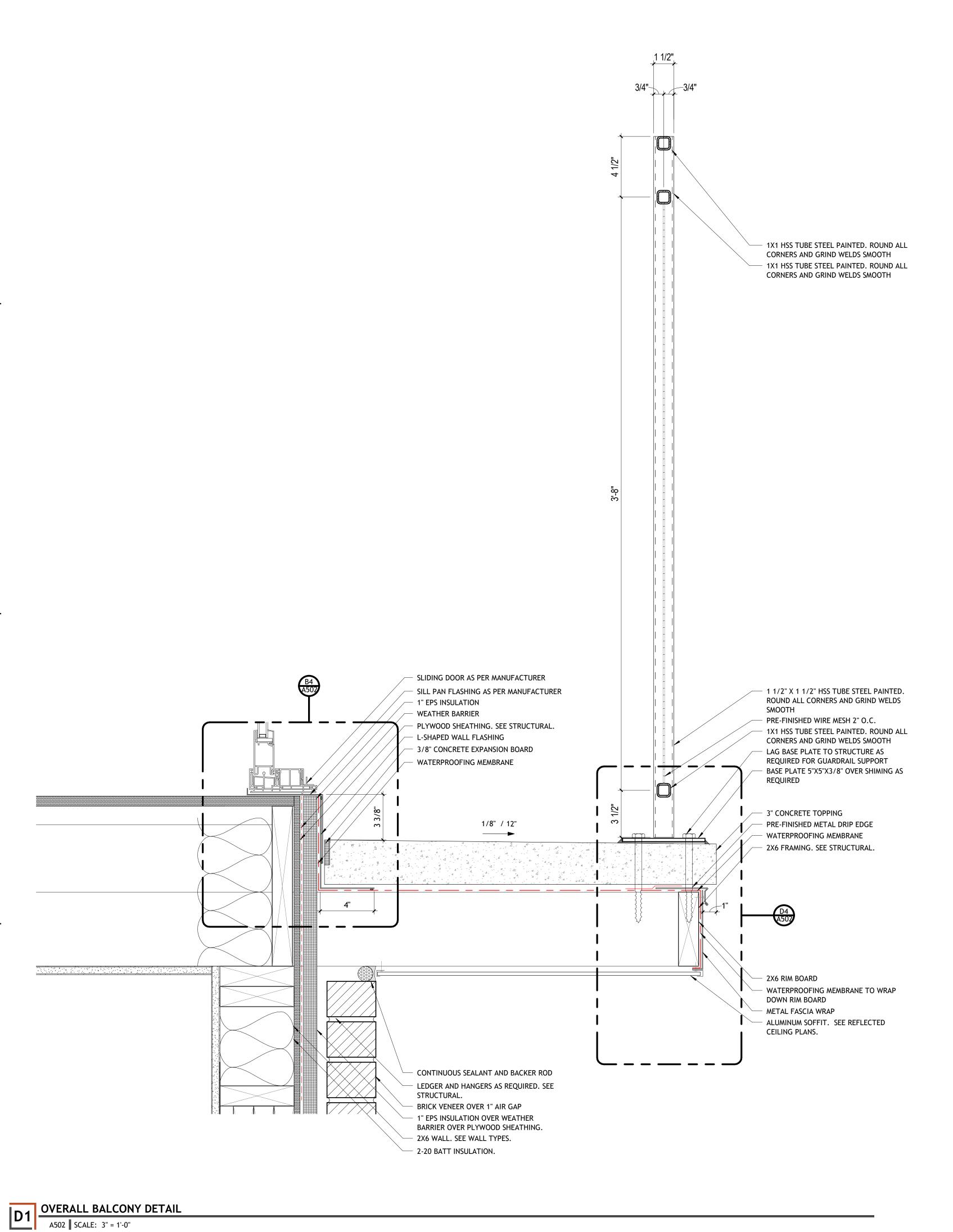
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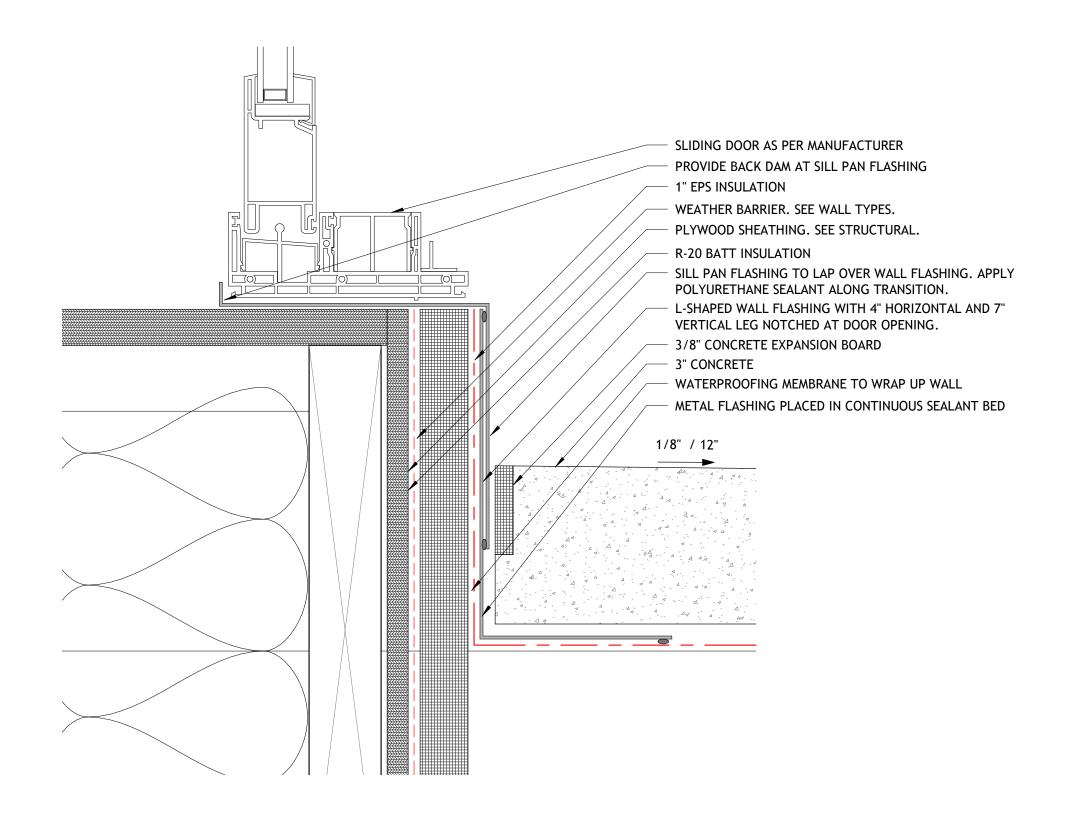
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STAIR DETAILS

SHEET NUMBER

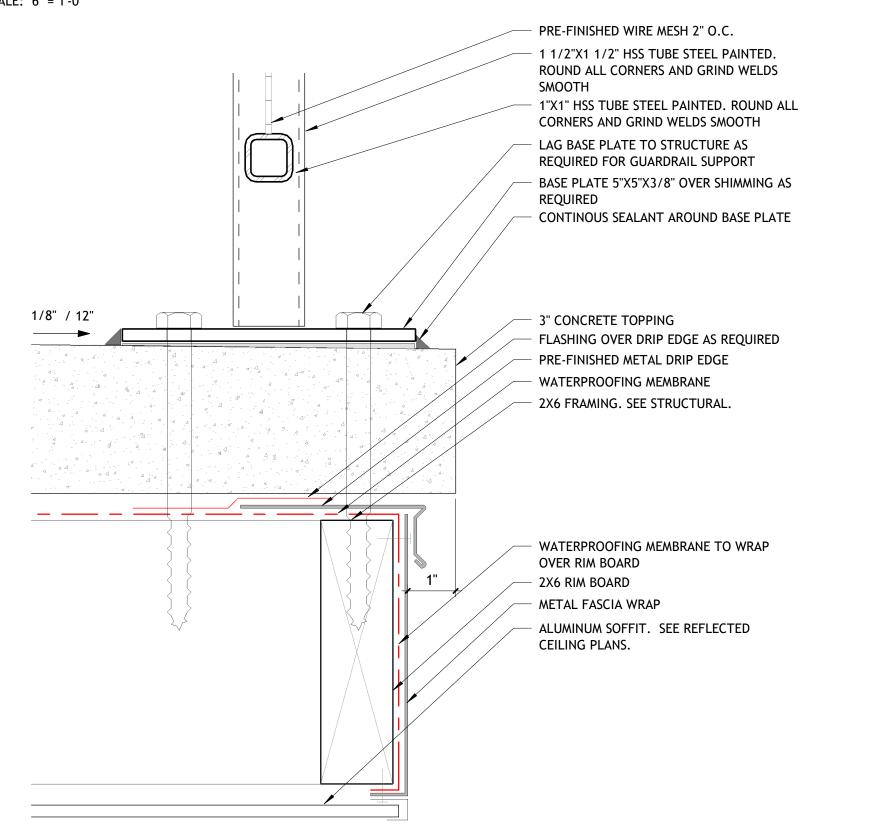






B4 DOOR THRESHOLD DETAIL

A502 SCALE: 6" = 1'-0"



CONSULTANT INFORMATION

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DRAWING SET STATUS CONSTRUCTION

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ARCHITECTURAL DETAILS

SHEET NUMBER

A502

D4 BALCONY EDGE DETAIL

A502 SCALE: 6" = 1'-0"

WINDOW TYPES A601 SCALE: 1/4" = 1'-0"

2'-9" 2" 2'-9" A602 FINISHED FLOOR D1 D3 D6 D7 D8 D9 D4

<u>SET: 1</u> 3 HINGE 3 SILENCERS 1 WALL STOP

<u>SET: 2</u> 3 HINGE

1 KICK PLATE 1 WALL STOP 1 SWEEP 1 WEATHERSTRIPPING

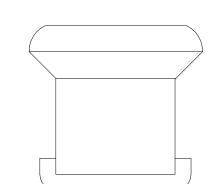
<u>SET: 3</u> PER SLIDING GLASS DOOR

MANUFACTURER

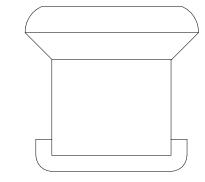
COMMENTS

DOOR TYPES A601 SCALE: 1/4" = 1'-0"

CUT A MODIFIED "I" IN WEATHER BARRIER. FOLD SIDE AND BOTTOM FLAPS INTO OPENING AND SECURE. CUT HEAD FLAP AND FLIP UP TO EXPOSE SHEATHING



USE TYVEK FLEXWRAP TO PROVIDE SEAMLESS PROTECTION AT SILL. CAULK ROUGH OPENING OF JAMBS AND HEADS. POSITION SUCH THAT WINDOW FLANGE WILL CONTACT. (DO NOT CAULK ACROSS BOTTOM OF ROUGH OPENING).



FLIP HEAD WRAP DOWN AND SECURE WITH TAPE CAULK REAR WINDOW SEAL.



ADDITIONAL INSTRUCTIONS

TYVEK FLASHING SYSTEM

- A. WIPE SURFACE TO REMOVE MOISTURE, DIRT, GREASE, AND OTHER DEBRIS THAT COULD INTERFERE WITH ADHESION.
- B. APPLY PRESSURE ALONG ENTIRE SURFACE TO ACHIEVE A GOOD BOND. C. REMOVE ALL WRINKLES AND BUBBLES BY SMOOTHING SURFACE AND REPOSITION AS NECESSARY.

AFTER INSTALLING WINDOW PER MANUFACTURER'S

INSTRUCTIONS, PROTECT JAMBS AND HAS WITH

TYVEK STRAIGHTFLASH OR TYVEK FLEXWRAP.

D. FOR ADDITIONAL GUIDELINES, RECOMMENDED CAULKS AND PRIMERS CALL 1-800-44 TYVEK.

2. PAN FLASHING MUST HAVE WATERTIGHT SEAMS.

4. EIFS AT SILL SHALL BE SLOPED FOR DRAINAGE.

STEP 1: INSTALL CONTINUOUS FLASHING AND SECURE TO FRAMING.

JAMBS LAPPING OVER UPTURNED LEGS OF PAN FLASHING.

AT SYSTEM TERMINATION, ALSO ALONG EDGES OF FLASHING.

MOISTURE. SHIM UNDERSIDE OF FLASHING TO ENSURE WATER RUN OFF.

STEP 3: APPLY FLASHING TAPE OVER METAL FLASHING TRANSITION AND AT

STEP 2: INSTALL PAN FLASHING AND LAP OVER CONTINUOUS FLASHING TO SHED

STEP 5: INSTALL EIFS AND APPLY BACKER ROD AND SEALANT ALONG JAMBS AND

1. FLASHING SHOULD OVER LPA EIFS MINIMUM 2 1/2" MEASURED FORM THE TO

3. MECHANICAL FASTENERS SHOULD BE USED TO ATTACHED SILL TRIM PIECE.

STEP 4: INSTALL WINDOW UNIT.

OF THE EPS.

KEYNOTES

11.03

DOOR SYSTEM. STYLE AND COLOR TO BE SELECTED BY OWNER.

233 SOUTH PLEASANT GROVE BLVD. DOOR TRIM. STYLE AND COLOR TO BE SELECTED BY OWNER. PLEASANT GROVE, UTAH 84062 SLIDING DOOR SYSTEM. STYLE AND COLOR TO BE SELECTED BY

PHONE: (801) 769-3000 core@corearch.com FIXED VINYL FRAMED WINDOW SYSTEM. STYLE AND COLOR TO BE

SELECTED BY OWNER. OPERABLE PANEL FOR SLIDING VINYL WINDOW SYSTEM. PROVIDE THE INFORMATION HEREIN IS THE PROPERTY OF CORE

FIXED WINDOW SCREEN AT OPERABLE PANEL.

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SUITE #105

NOT FOR CONSTRUCTION

CONSULTANT INFORMATION

GLAZING SCHEDULE

- 3/4" INSULATED, CLEAR LOW-E GLASS, U-VALUE = 0.30 OR BETTER, SOLAR HEAT GAIN COEFFICIENT = 0.30 OR BETTER.
- 3/4" INSULATED TEMPERED, CLEAR LOW-E GLASS, U-VALUE = 0.30 OR BETTER, SOLAR HEAT GAIN COEFFICIENT = 0.30 OR BETTER.
- 3/4" INSULATED TEMPERED, CLEAR LOW-E GLASS PANEL INSERT PER DOOR MANUFACTURER, U-VALUE = 0.30 OR BETTER, SOLAR HEAT GAIN COEFFICIENT = 0.30 OR BETTER.



REVISIONS △ DESCRIPTION DATE PROJECT INFORMATION DATE: 15 MARCH 2024 PROJECT #: PM / PA:

> DRAWING SET STATUS CONSTRUCTION

DOCUMENTS THIS DRAWING SET IS INTENDED

TO BE PRINTED IN COLOR SHEET TITLE

GENERAL NOTES

- A. THE CONTRACTOR IS TO VERIFY THE DIMENSIONS OF ALL OPENINGS PRIOR TO
- THE FABRICATION OF ALL DOORS AND FRAMES. B. DUE TO MULTIPLE USE, SOME OF THE DETAILS REFERRED TO ON THE DOOR SCHEDULE ARE REVERSED OR TURNED FROM THE DIRECTION SHOWN ON THE
- FLOOR PLANS. THE INTENT OF THE DETAILS IS TO BE FOLLOWED. CONSULT THE ARCHITECT WHEN QUESTIONS ARISE. C. CAULK HEAD, JAMBS, AND SILLS OF ALL DOORS AND WINDOWS WITH SEALANT
- CONTINUOUSLY APPLIED TO BOTH SIDES OF THE FRAMES.

DOOR AND

WINDOWS

SHEET NUMBER A601

D. COORDINATE KEYING TYPE AND SCHEDULE WITH OWNER.

DOOR SCHEDULE

INSULATED

INSULATED

DOOR SIZE

D1 3'-0" 6'-8" GLASS WOOD

D2 3'-0" 6'-8" WOOD WOOD

D3 2'-4" 6'-8" WOOD WOOD D4 | 2'-4" | 6'-8" | WOOD | WOOD |

D5 6'-0" 6'-8" GLASS ALUM

D6 | 2'-6" | 6'-8" | WOOD | WOOD | D7 2'-10" 6'-8" WOOD WOOD

D8 2'-8" 6'-8" WOOD WOOD

D9 6'-0" 6'-8" WOOD WOOD 1

MATERIAL TYPE | WIDTH | HEIGHT | DOOR | FRAME | HARDWARE | RATING |

A602 | SCALE: 1 1/2" = 1'-0"

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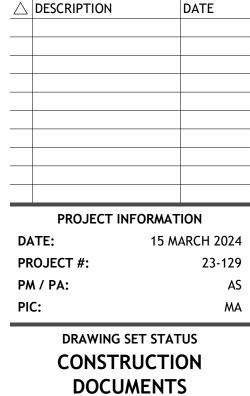
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DOOR &

WINDOW DETAILS

SHEET NUMBER

COORDINATE KEYING TYPE AND SCHEDULE WITH OWNER.

NOTE: ALL WOOD STUD FRAMING TO BE IN ACCORDANCE WITH AMERICAN WOOD COUNCIL STANDARDS WOOD FRAMING MEMBERS SOLID WOOD BLOCKING LOCATED AT EACH END OF WALL AND ADJACENT TO OPENINGS WOOD STUD BLOCKING DETAIL FRAMING TO BE IN ACCORDANCE WITH AMERICAN WOOD COUNCIL STANDARDS DOUBLE TOP PLATE WOOD HEADER WOOD STUD (2) 2x WOOD STUD HEADER - CRIPPLE STUD - 5/8" TYPE "X" GYPSUM BOARD MULTIPLE BACK-TO-BACK STUDS AS REQUIRED SEE RCP WOOD SILL A.F.F. BASE PLATE (PRESSURE TREATED WHEN IN CONTACT WITH CONCRETE) - CRIPPLE STUD WOOD STUD FRAMING WINDOW DETAIL

A701 SCALE: NOT TO SCALE A701 SCALE: 1 1/2" = 1'-0" NOTE: ALL WOOD STUD FRAMING TO BE IN ACCORDANCE WITH - FLEXIBLE WATER AMERICAN WOOD COUNCIL CONNECTIONS STANDARDS - STRUCTURAL WALL MEMBER DOUBLE TOP PLATE 24 GAUGE STRAPPING - CRIPPLE STUD 1/2" x 3" LAG OR EXPANSION WOOD HEADER FLEXIBLE GAS CONNECTION CRIPPLE STUD 4" DISTANCE FROM WALL - WOOD STUD - MULTIPLE STUDS BACK-TO-BACK AS REQUIRED - BASE PLATE (PRESSURE TREATED WHEN IN CONTACT WITH CONCRETE) NOTE: FILL SPACE BETWEEN
WATER HEATER AND WALL
WITH 2X BLOCKING WITH
CUSHIONED FACE. WOOD STUD FRAMING DOOR DETAIL

A701 SCALE: NOT TO SCALE SEISMIC WATER HEATER DETAIL

A701 SCALE: 1/2" = 1'-0"

233 SOUTH PLEASANT GROVE BLVD. **SUITE #105** PLEASANT GROVE, UTAH 84062 PHONE: (801) 769-3000 core@corearch.com

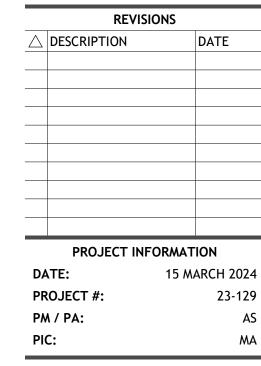
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PROFESSIONAL STAMP

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CONSULTANT INFORMATION





DRAWING SET STATUS CONSTRUCTION **DOCUMENTS**

THIS DRAWING SET IS INTENDED

TO BE PRINTED IN COLOR

SHEET TITLE

MISCELLANEOUS DETAILS

SHEET NUMBER