



# EUCLID TOWNHOMES

922 EUCLID AVENUE, SALT LAKE CITY, UT 84104

15 MARCH 2024

CONSTRUCTION  
DOCUMENTS



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**MECHANICAL, PLUMBING, & ELECTRICAL**  
DESIGN-BUILD

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PROFESSIONAL STAMP

NOT FOR  
CONSTRUCTION

CONSULTANT INFORMATION

PROJECT TITLE AND ADDRESS  
**EUCLID TOWNHOMES**  
922 EUCLID AVENUE, SALT LAKE CITY, UT 84104

### REVISIONS

△ DESCRIPTION	DATE

### PROJECT INFORMATION

DATE: 15 MARCH 2024  
PROJECT #: 23-129  
PM / PA: AS  
PIC: MA

### DRAWING SET STATUS

CONSTRUCTION  
DOCUMENTS

THIS DRAWING SET IS INTENDED  
TO BE PRINTED IN COLOR

SHEET TITLE

COVER SHEET

SHEET NUMBER

**G000**

Autodesk Docs: /23-129 Euclid Townhomes/23-129 Euclid Townhomes.rvt  
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REVISIONS	
DESCRIPTION	DATE

PROJECT INFORMATION	
DATE:	15 MARCH 2024
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PIC:	MA

DRAWING SET STATUS  
**CONSTRUCTION DOCUMENTS**

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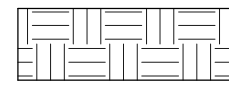
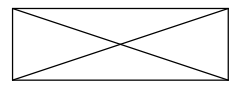
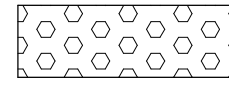
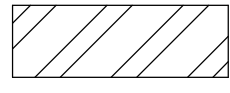
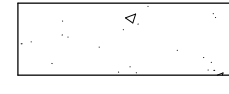

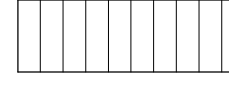


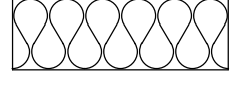
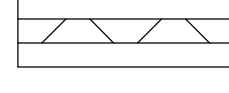

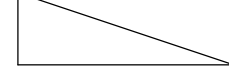

SHEET TITLE

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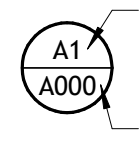
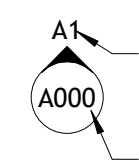
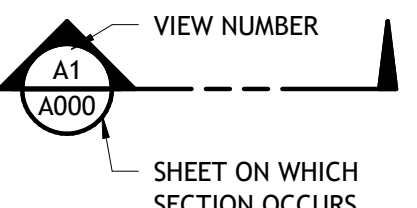
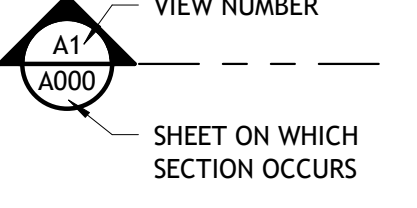
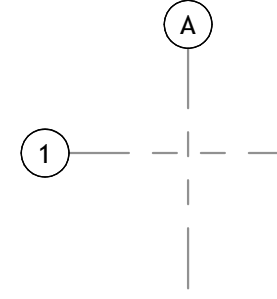
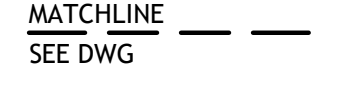
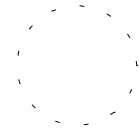





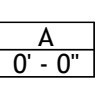


SHEET NUMBER

**G001**

**MATERIALS LEGEND**

 EARTH	 CONTINUOUS WOOD MEMBER
 GRAVEL	 METAL
 CONCRETE	 WOOD STUD WALLS
 RIGID INSULATION	 CONTINUOUS METAL STUD
 CONCRETE MASONRY UNIT	 BATT INSULATION
 STEEL DECK	 FINISHED WOOD MEMBER
 WOOD BLOCKING	 GLASS

**SYMBOL LEGEND**

<b>DETAIL TAG</b>	 DETAIL NUMBER SHEET ON WHICH DETAIL OCCURS
<b>ELEVATION</b>	 ELEVATION SHEET ON WHICH ELEVATION OCCURS
<b>WALL SECTION</b>	 VIEW NUMBER SHEET ON WHICH SECTION OCCURS
<b>OVERALL BUILDING SECTION</b>	 VIEW NUMBER SHEET ON WHICH SECTION OCCURS
<b>GRID LINES</b>	
<b>MATCHLINE</b>	 MATCHLINE SEE DWG
<b>ADA CLEAR DISTANCE</b>	 ADA CLEAR DISTANCE
<b>WORK POINT OR ELEV. BENCH MARK</b>	
<b>WALL TYPES</b>	 
<b>WINDOW</b>	
<b>GLAZING</b>	
<b>CEILING TAG</b>	
<b>DOOR</b>	
<b>SHEET NOTE</b>	

**DESIGN CRITERIA**

<b>EMERGENCY ESCAPE:</b>	1 OPERABLE RESCUE OPENING REQUIRED IN EVERY SLEEPING ROOM. 5.7 SF MINIMUM CLEAR OPENING WITH 24" MINIMUM IN HEIGHT AND 20" MINIMUM IN WIDTH AND 44" MAXIMUM SILL HEIGHT ABOVE FINISHED FLOOR.
<b>ROOF COVERING CLASSIFICATION:</b>	C (IRC 302.2.2(EXCEPTION)).
<b>ACCESSIBILITY:</b>	NOT REQUIRED

**BUILDING CODES**

2021 INTERNATIONAL RESIDENTIAL CODE.  
2021 INTERNATIONAL FIRE CODE.  
2021 INTERNATIONAL MECHANICAL CODE.  
2021 INTERNATIONAL PLUMBING CODE.  
2020 NATIONAL ELECTRICAL CODE.  
2021 INTERNATIONAL ENERGY CONSERVATION CODE.  
THE FAIR HOUSING ACT GUIDELINES.  
UTAH STATE CODE AMENDMENTS, EFFECTIVE 1 JULY 2016, AS ADOPTED BY THE UTAH STATE LEGISLATURE.

**DESIGN CRITERIA**

<b>MAIN LEVEL AREA:</b>	3,690 S.F.
<b>SECOND LEVEL AREA:</b>	3,540 S.F.
<b>TOTAL BUILDING AREA:</b>	7,230 S.F.
<b>OCCUPANCY GROUP:</b>	R-3 (TOWNHOUSE)
<b>OCCUPANCY REQUIREMENTS:</b>	R-3 (IBS R101.2)
<b>ALLOWABLE STORIES ABOVE GRADE:</b>	2 (IRC R101.2)
<b>ALLOWABLE STORY HEIGHT:</b>	FOR WOOD WALL FRAMING, THE STORY HEIGHT SHALL NOT EXCEED 11 FEET 7 INCHES (3531 MM) AND THE LATERALLY UNSUPPORTED BEARING WALL STUD HEIGHT PERMITTED BY TABLE R602.3(5).
<b>ALLOWABLE BUILDING HEIGHT:</b>	35'-0" TO TOP OF ROOF
<b>BUILDING HEIGHT:</b>	30'-8 1/2"
<b>DWELLING SEPARATIONS:</b>	2-HOUR DWELLING SEPARATION REQUIRED (IRC 302.1).
<b>DRAFT STOPPING:</b>	DRAFTSTOPS SHALL BE INSTALLED SO THAT THE AREA OF THE CONCEALED SPACE DOES NOT EXCEED 1,000 SQUARE FEET (92.9 M2).
<b>INTERIOR WALL AND CEILING FINISHES:</b>	WALL AND CEILING FINISHES SHALL HAVE A FLAME SPREAD INDEX OF NOT GREATER THAN 200 AND A SMOKE-DEVELOPED INDEX OF NOT GREATER THAN 450.
<b>FIRE SPRINKLERS:</b>	NOT REQUIRED PER STATE AMMENDMENT (R313.1)
<b>EXTERIOR WALL PROTECTION:</b>	NOT REQUIRED (IRC TABLE R302.1(1)). SEE SITE PLAN.
<b>SMOKE &amp; CARBON MONOXIDE ALARM:</b>	<b>REQUIRED</b> FIRE ALARM SYSTEMS SHALL BE PERMITTED TO BE USED IN LIEU OF SMOKE ALARMS (IRC R341.7). CARBON MONOXIDE DETECTION SYSTEMS SHALL BE PERMITTED TO BE USED IN LIEU OF CARBON MONOXIDE ALARMS (IRC R315.7)
<b>MEANS OF EGRESS:</b>	EGRESS DOOR: 1 DOOR SHALL HAVE A MINIMUM CLEAR WIDTH OF 32" (IRC R311.2 & R 311.3). HALLWAYS: NOT LESS THAN 36" WIDTH (IRC R311.6). STAIRWAYS: NOT LESS THAN 36" CLEAR WIDTH ABOVE THE PERMITTED HANDRAIL HEIGHT (IRC 311.7).

**BIDDING INFORMATION**

THESE DOCUMENTS ARE INTENDED FOR PROJECT NEGOTIATION BETWEEN A SINGLE GENERAL CONTRACTOR AND OWNER. THESE DOCUMENTS ARE NOT INTENDED TO BE USED FOR COMPETITIVE BIDDING BY MULTIPLE GENERAL CONTRACTORS.  
  
THE ARCHITECT WILL CLARIFY INFORMATION WITHIN THESE DOCUMENTS FOR A SINGLE OWNER-SELECTED GENERAL CONTRACTOR ONLY. REQUESTS FOR CLARIFICATION SHALL BE DIRECTED TO CORE ARCHITECTURE BY THE GENERAL CONTRACTOR. CALLS FROM SUBCONTRACTORS WILL BE REFERRED TO THE GENERAL CONTRACTOR.

**DEFERRED SUBMITTALS**

DEFERRED SUBMITTALS ARE TO BE MADE IN COMPLIANCE WITH SECTION 107.3.A.1 OF THE 2018 INTERNATIONAL BUILDING CODE. DEFERRED SUBMITTAL DOCUMENTS SHALL RESUBMITTED TO THE REGISTERED DESIGN PROFESSIONAL IN RESPONSIBLE CHARGE WHO SHALL REVIEW THEM AND FORWARD THEM TO THE BUILDING OFFICIAL HAVING JURISDICTION WITH A NOTATION INDICATING THAT THE DEFERRED SUBMITTAL DOCUMENTS HAVE BEEN REVIEWED AND THAT THEY HAVE BEEN FOUND TO BE IN GENERAL COMPLIANCE WITH THE DESIGN OF THE PROJECT. THE DEFERRED SUBMITTAL ITEMS SHALL NOT BE INSTALLED UNTIL THEIR DESIGN AND SUBMITTAL DOCUMENTS HAVE BEEN REVIEWED AND APPROVED. THE DEFERRED SUBMITTAL SHALL BE SUBMITTED TO THE BUILDING OFFICIAL HAVING JURISDICTION PRIOR TO INSPECTIONS. THE WORK RELATED TO THE DEFERRED SUBMITTALS IS NOT TO COMMENCE UNTIL THE BUILDING OFFICIAL HAS APPROVED THE SUBMITTAL. THE FOLLOWING CONSTRUCTION DOCUMENTS SHALL BE SUBMITTED AS A DEFERRED SUBMITTAL.  
  
1. WOOD TRUSSES

**DIMENSION NOTES**

- ALL PLAN DIMENSIONS, UNLESS OTHERWISE NOTED, ARE TO:
  - FOR EXTERIOR DIMENSIONS:
    - COLUMN GRID ON CENTERLINES.
    - THE OUTER FACE OF CONCRETE OR MASONRY.
    - THE OUTER FACE OF EPS INSULATION.
  - FOR INTERIOR DIMENSIONS:
    - THE FACE OF STUD.
- DOOR LOCATIONS NOT DIMENSIONED ARE:
  - JAMB FACE 4" FROM FACE OF STUD.
  - CENTERLINE OF DOOR ON CENTERLINE OF ROOM OR CORRIDOR.
- NOTED DIMENSIONS SHALL TAKE PRECEDENCE OVER SCALE DIMENSIONS; DETAILS OVER SMALLER SCALE DRAWINGS.
- "FLOOR LINE" REFERS TO TOP OF CONCRETE SLABS. FOR DEPRESSED FLOORS AND CURBS, SEE STRUCTURAL DRAWINGS.
- VERIFY ALL ROUGH-IN, CONCRETE PAD, OR PLATFORM DIMENSIONS FOR EQUIPMENT PROVIDED IN THIS PROJECT, OR BY OTHERS.
- FINISHED FLOOR ELEVATIONS ARE TO TOP OF CONCRETE OR GYPCRETE, UNLESS NOTED OTHERWISE.
- CEILING HEIGHT DIMENSIONS ARE TO FINISHED SURFACES, UNLESS NOTED OTHERWISE.

**SPECIAL INSPECTIONS**

SPECIAL INSPECTIONS SHALL BE PROVIDED BY THE OWNER IN ACCORDANCE WITH 2021 INTERNATIONAL BUILDING CODE CHAPTER 17.  
  
THE SPECIAL INSPECTOR SHALL BE A QUALIFIED PERSON WHO SHALL DEMONSTRATE COMPETENCE. TO THE SATISFACTION OF THE BUILDING OFFICIAL, FOR INSPECTION OF THE PARTICULAR TYPE OF CONSTRUCTION OR OPERATION REQUIRING SPECIAL INSPECTION.  
  
THE SPECIAL INSPECTOR SHALL OBSERVE THE WORK ASSIGNED FOR CONFORMANCE WITH THE APPROVED PLANS AND SPECIFICATIONS.  
  
THE SPECIAL INSPECTOR SHALL FURNISH INSPECTION REPORTS TO THE OWNER, THE BUILDING OFFICIAL, THE ARCHITECT OF RECORD, THE ENGINEER OF RECORD, AND TO THE CONTRACTOR. ALL DISCREPANCIES SHALL BE BROUGHT TO THE IMMEDIATE ATTENTION OF THE CONTRACTOR FOR CORRECTION, THEN, IF UNCORRECTED, TO THE PROPER DESIGN AUTHORITY AND TO THE BUILDING OFFICIAL PRIOR TO THE COMPLETION OF THAT PHASE OF THE WORK.  
  
THE SPECIAL INSPECTOR SHALL SUBMIT A FINAL SIGNED REPORT DOCUMENTING THAT THE SPECIAL INSPECTION WORK WAS, TO THE BEST OF HIS KNOWLEDGE, IN CONFORMANCE TO THE APPROVED PLANS AND SPECIFICATIONS AND THE APPLICABLE WORKMANSHIP PROVISIONS OF THE 2021 INTERNATIONAL BUILDING CODE.

**ABBREVIATIONS**

A.F.F. = ABOVE FINISHED FLOOR  
C.F.C.I. = CONTRACTOR FURNISHED, CONTRACTOR INSTALLED  
C.F.O.I. = CONTRACTOR FURNISHED, OWNER INSTALLED  
O.F.O.I. = OWNER FURNISHED, OWNER INSTALLED  
O.F.C.I. = OWNER FURNISHED, CONTRACTOR INSTALLED  
O.C. = ON CENTER  
MIN. = MINIMUM  
TYP. = TYPICAL  
MIR. = MIRRORRED  
SIM. = SIMILAR  
F.V. = FIELD VERIFY  
CL. = CENTERLINE  
EQ. = EQUAL  
T.B.D. = TO BE DETERMINED  
SF = SQUARE FOOT / FEET  
DIM. = DIMENSION(S)  
ALUM. = ALUMINUM  
GYP. = GYPSUM  
N.I.C. = NOT IN CONTRACT

SPECIAL INSPECTION IS REQUIRED FOR THE FOLLOWING WORK: ENGINEERED FILL; CONCRETE; REINFORCING FOR POURED-IN-PLACE CONCRETE ABOVE GRADE; REINFORCED MASONRY (IMMEDIATELY PRIOR TO AND DURING GROUTING); BOLTED CONNECTIONS; FIELD WELDING OF STRUCTURAL ROOF DIAPHRAGMS; ALL OTHER FIELD WELDING; ULTRASONIC OR MAGNETIC TESTING OF ALL STRUCTURAL MOMENT FRAME WELDS.

REVISIONS	
DESCRIPTION	DATE

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SHEET TITLE

**WALL TYPES**

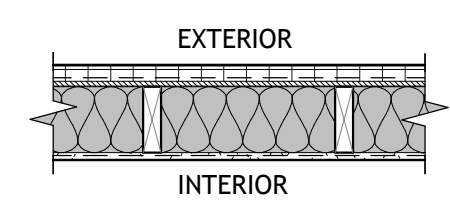
SHEET NUMBER

**G002**

6

FROM EXTERIOR TO INTERIOR

- 3/8" FIBER REINFORCED STUCCO FINISH. SEE EXTERIOR ELEVATIONS FOR COLOR.
- 1" EPS CONTINUOUS INSULATION
- TYVEK OR EQUIVALENT AIR/WEATHER BARRIER
- STRUCTURAL SHEATHING. SEE STRUCTURAL FOR SHEAR WALL APPLICATIONS.
- R-20 BATT INSULATION WITH 6 MIL VAPOR RETARDER TO WARM SIDE.
- 2x6 WOOD STUDS @ 16" O.C.
- 5/8" TYPE 'X' GYPSUM BOARD - PAINTED

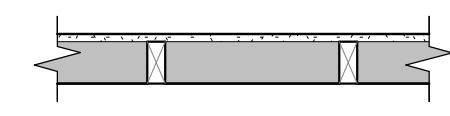


HEIGHT: VARIES. SEE ELEVATIONS  
RATING:  
LISTING:  
STC RATING:  
SEE TEST #:

**E WALL TYPE**  
SCALE: 3/4" = 1'-0"

FROM TOP TO BOTTOM

- 5/8" TYPE 'X' GYPSUM BOARD
- 2x4 WOOD STUD @ 16" O.C.
- 2x4 WOOD STUD @ 16" O.C.



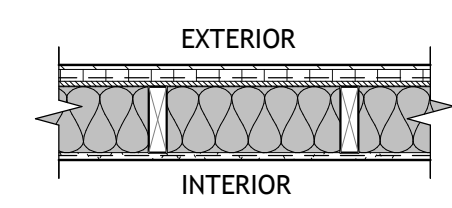
HEIGHT: TO STRUCTURE ABOVE  
RATING:  
LISTING:  
STC RATING:  
SEE TEST #:

**K WALL TYPE**  
SCALE: 3/4" = 1'-0"

5

FROM EXTERIOR TO INTERIOR

- 5/16" FIBER CEMENT PLANK LAP SIDING
- 1" EPS CONTINUOUS INSULATION BOARD
- TYVEK OR EQUIVALENT AIR/WEATHER BARRIER
- STRUCTURAL SHEATHING. SEE STRUCTURAL FOR SHEAR WALL APPLICATIONS.
- 2x6 WOOD STUDS @ 16" O.C.
- R-20 BATT INSULATION WITH 6 MIL VAPOR RETARDER TO WARM SIDE.
- 5/8" TYPE 'X' GYPSUM BOARD - PAINTED

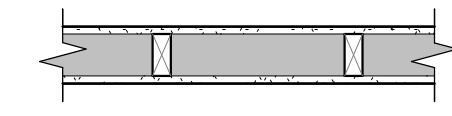


HEIGHT: VARIES. SEE ELEVATIONS  
RATING:  
LISTING:  
STC RATING:  
SEE TEST #:

**D WALL TYPE**  
SCALE: 3/4" = 1'-0"

FROM TOP TO BOTTOM

- 5/8" TYPE 'X' GYPSUM BOARD
- 2x4 WOOD STUD @ 16" O.C.
- 5/8" TYPE 'X' GYPSUM BOARD



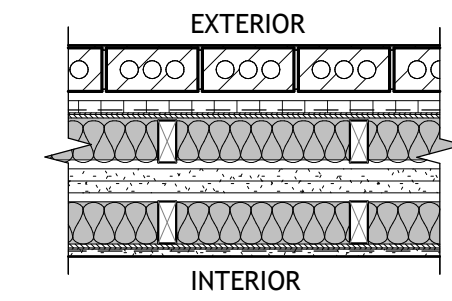
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RATING:  
LISTING:  
STC RATING:  
SEE TEST #:

**J WALL TYPE**  
SCALE: 3/4" = 1'-0"

4

FROM EXTERIOR TO INTERIOR

- BRICK VENEER. SEE EXTERIOR ELEVATIONS
- 1" AIR GAP
- 1" EPS CONTINUOUS INSULATION BOARD
- TYVEK OR EQUIVALENT AIR/WEATHER BARRIER
- STRUCTURAL SHEATHING. SEE STRUCTURAL FOR SHEAR WALL APPLICATIONS.
- 2x4 WOOD STUDS @ 16" O.C.
- R-20 UNFACED BATT INSULATION
- 3/4" AIR SPACE BETWEEN WALLS. PROVIDE FIRE BLOCKING @ 10'-0" O.C. HORIZONTALLY, AND AT FLOOR AND CEILING LEVELS VERTICALLY.
- (2) 1" GYPSUM LINER PANELS
- 3/4" AIR SPACE BETWEEN WALLS. PROVIDE FIRE BLOCKING @ 10'-0" O.C. HORIZONTALLY, AND AT FLOOR AND CEILING LEVELS VERTICALLY.
- 2x4 WOOD STUD @ 16" O.C.
- R-20 UNFACED BATT INSULATION
- STRUCTURAL SHEATHING. SEE STRUCTURAL FOR SHEAR WALL APPLICATIONS.
- 5/8" TYPE 'X' GYPSUM BOARD - PAINTED

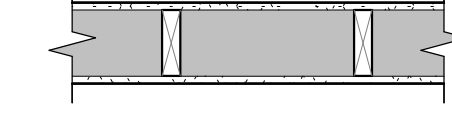


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RATING: 2 HOUR  
LISTING: ASW 1000 - 1005  
STC RATING: 60 - 64  
SEE TEST #: RAL TL00-176, 12-6-00

**C WALL TYPE**  
SCALE: 3/4" = 1'-0"

FROM TOP TO BOTTOM

- 5/8" TYPE 'X' GYPSUM BOARD
- 2x6 WOOD STUD @ 16" O.C.
- 5/8" TYPE 'X' GYPSUM BOARD



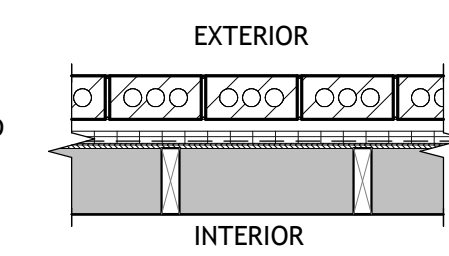
HEIGHT: TO STRUCTURE ABOVE  
RATING:  
LISTING:  
STC RATING:  
SEE TEST #:

**H WALL TYPE**  
SCALE: 3/4" = 1'-0"

3

FROM EXTERIOR TO INTERIOR

- BRICK VENEER. SEE EXTERIOR ELEVATIONS
- 1" AIR GAP
- 1" EPS CONTINUOUS INSULATION BOARD
- TYVEK OR EQUIVALENT AIR/WEATHER BARRIER
- STRUCTURAL SHEATHING. SEE STRUCTURAL FOR SHEAR WALL APPLICATIONS.
- 2x6 WOOD STUDS @ 16" O.C.

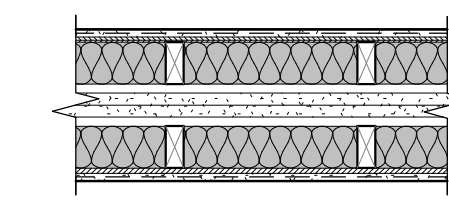


HEIGHT: VARIES. SEE ELEVATIONS  
RATING:  
LISTING:  
STC RATING:  
SEE TEST #:

**B WALL TYPE**  
SCALE: 3/4" = 1'-0"

FROM TOP TO BOTTOM

- 5/8" TYPE 'X' GYPSUM BOARD
- STRUCTURAL SHEATHING. SEE STRUCTURAL FOR SHEAR WALL APPLICATIONS.
- 2x4 WOOD STUD @ 16" O.C.
- R-20 UNFACED BATT INSULATION
- 3/4" AIR SPACE BETWEEN WALLS. PROVIDE FIRE BLOCKING @ 10'-0" O.C. HORIZONTALLY, AND AT FLOOR AND CEILING LEVELS VERTICALLY.
- (2) 1" GYPSUM LINER PANELS
- 3/4" AIR SPACE BETWEEN WALLS. PROVIDE FIRE BLOCKING @ 10'-0" O.C. HORIZONTALLY, AND AT FLOOR AND CEILING LEVELS VERTICALLY.
- 2x4 WOOD STUD @ 16" O.C.
- R-20 UNFACED BATT INSULATION
- STRUCTURAL SHEATHING. SEE STRUCTURAL FOR SHEAR WALL APPLICATIONS.
- 5/8" TYPE 'X' GYPSUM BOARD



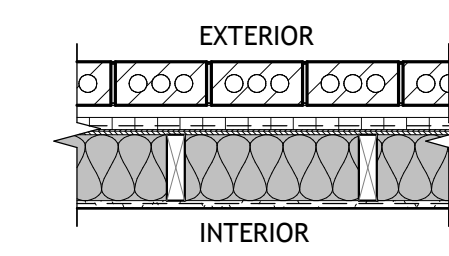
HEIGHT: TO UNDERSIDE OF ROOF DECK  
RATING: 2 HOUR  
LISTING: ASW 1000 - 1005  
STC RATING: 60 - 64  
SEE TEST #: RAL TL00-176, 12-6-00

**G WALL TYPE**  
SCALE: 3/4" = 1'-0"

2

FROM EXTERIOR TO INTERIOR

- BRICK VENEER. SEE EXTERIOR ELEVATIONS
- 1" AIR GAP
- 1" EPS CONTINUOUS INSULATION BOARD
- TYVEK OR EQUIVALENT AIR/WEATHER BARRIER
- STRUCTURAL SHEATHING. SEE STRUCTURAL FOR SHEAR WALL APPLICATIONS.
- R-20 BATT INSULATION WITH 6 MIL VAPOR RETARDER TO WARM SIDE.
- 2x6 WOOD STUDS @ 16" O.C.
- 5/8" TYPE 'X' GYPSUM BOARD - PAINTED

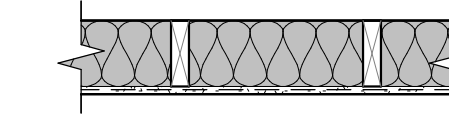


HEIGHT: VARIES. SEE ELEVATIONS  
RATING:  
LISTING:  
STC RATING:  
SEE TEST #:

**A WALL TYPE**  
SCALE: 3/4" = 1'-0"

FROM TOP TO BOTTOM

- 2x6 WOOD STUD @ 16" O.C.
- R-20 BATT INSULATION WITH 6 MIL VAPOR RETARDER TO WARM SIDE.
- 5/8" TYPE 'X' GYPSUM BOARD

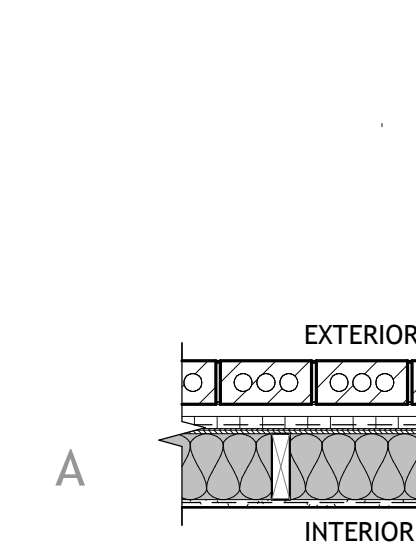


HEIGHT: TO STRUCTURE ABOVE  
RATING:  
LISTING:  
STC RATING:  
SEE TEST #:

**F WALL TYPE**  
SCALE: 3/4" = 1'-0"

1

FROM EXTERIOR TO INTERIOR

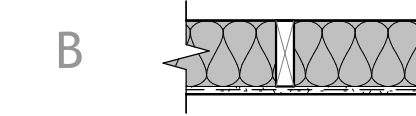


HEIGHT: VARIES. SEE ELEVATIONS  
RATING:  
LISTING:  
STC RATING:  
SEE TEST #:

**A WALL TYPE**  
SCALE: 3/4" = 1'-0"

FROM TOP TO BOTTOM

- 2x6 WOOD STUD @ 16" O.C.
- R-20 BATT INSULATION WITH 6 MIL VAPOR RETARDER TO WARM SIDE.
- 5/8" TYPE 'X' GYPSUM BOARD



HEIGHT: TO STRUCTURE ABOVE  
RATING:  
LISTING:  
STC RATING:  
SEE TEST #:

**F WALL TYPE**  
SCALE: 3/4" = 1'-0"

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PROJECT TITLE AND ADDRESS

# EUCLID TOWNHOMES

922 EUCLID AVENUE, SALT LAKE CITY, UT 84104

REVISIONS	
△ DESCRIPTION	DATE

PROJECT INFORMATION	
DATE:	15 MARCH 2024
PROJECT #:	23-129
PM / PA:	AS
PIC:	MA

DRAWING SET STATUS  
**CONSTRUCTION DOCUMENTS**

THIS DRAWING SET IS INTENDED TO BE PRINTED IN COLOR

SHEET TITLE

## FIRE PENETRATIONS AND JOINT DETAILS

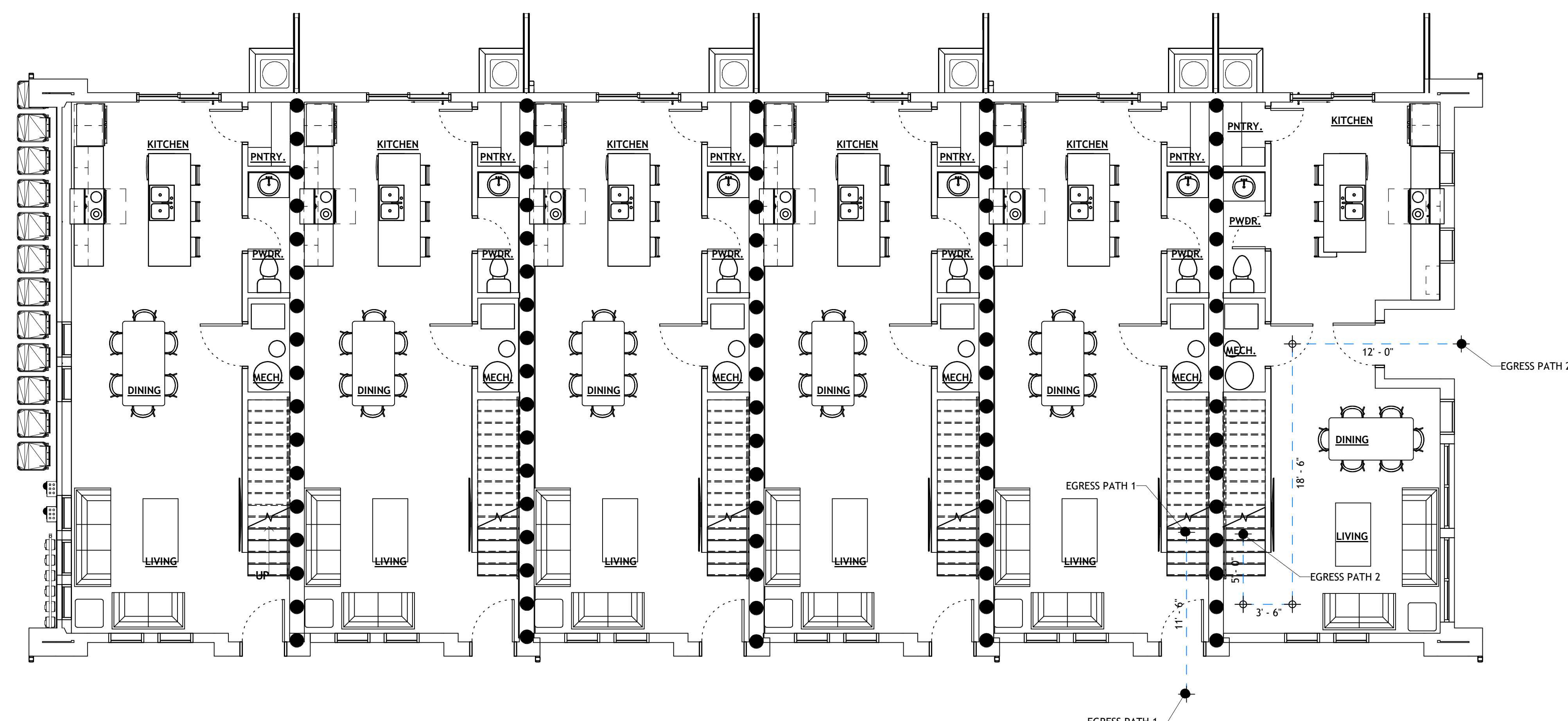
SHEET NUMBER

# G003

### GENERAL NOTES

- A. ALL CAULKING AT PENETRATIONS SHALL MEET THE SAME FIRE RATING AS THE RATED ASSEMBLY IT IS USED.
- B. COORDINATE INSTALLATIONS OF ALL "AFTER CONTRACT" ASSEMBLIES WITH OWNER PRIOR TO CONSTRUCTION OF ADJOINING OR RELATED STRUCTURES.
- C. SEE SEPARATION LEGEND FOR LOCATIONS OF VERTICAL EXIT ENCLOSURES, SHAFT ENCLOSURES, INCIDENTAL USE SEPARATIONS, DWELLING SEPARATIONS, AND CORRIDORS.
- D. ALL PENETRATIONS SHALL HAVE AN F-RATING AND A T-RATING EQUAL TO THE RATING FOR THE ASSEMBLY PENETRATED BUT NOT LESS THAN 1-HOUR. (EXCEPTION: FLOOR PENETRATIONS CONTAINED WITHIN THE CAVITY OF A WALL) 2015 IBC 714.4.1.1.2.
- E. FIRESTOPPING DETAILS ARE SHOWN BY 3M. CONSULT SPECIFICATIONS AND CURRENT UNDERWRITERS LABORATORIES "FIRE RESISTANT DIRECTORY" FOR EQUAL MANUFACTURERS AND DETAILS. INSTALL ALL MATERIALS PER MANUFACTURER'S RECOMMENDATIONS.
- F. ALL FIRE PENETRATION AND JOINT FIRESTOPPING WORK TO BE COMPLETED PRIOR TO THE INSTALLATION OF CEILINGS TO FACILITATE INSPECTION OF WORK.
- G. ALL CAULKING AND OTHER FIRESTOPPING MATERIALS TO HAVE A PROFESSIONAL CLEAN LOOKING APPEARANCE FOLLOWING INSTALLATION.





**SEPARATION LEGEND**

- TWO HOUR RATED ASSEMBLY. ASSEMBLY TO EXTEND TO ROOF DECK IN ALL CASES, INCLUDING ROOF OVERBUILDS.

**EGRESSES TRAVEL PATHS**

Type	Egress Path Length
EGRESS PATH 1	49'-6"
EGRESS PATH 2	76'-8 1/2"

**GENERAL NOTES**

- A. SEE SHEET G001 FOR ALL RELATED CODE COMPLIANCE INFORMATION.

PROJECT TITLE AND ADDRESS  
**EUCLID TOWNHOMES**

922 EUCLID AVENUE, SALT LAKE  
CITY, UT 84104

REVISIONS

△ DESCRIPTION	DATE

PROJECT INFORMATION

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DRAWING SET STATUS  
**CONSTRUCTION  
DOCUMENTS**

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TO BE PRINTED IN COLOR

SHEET TITLE

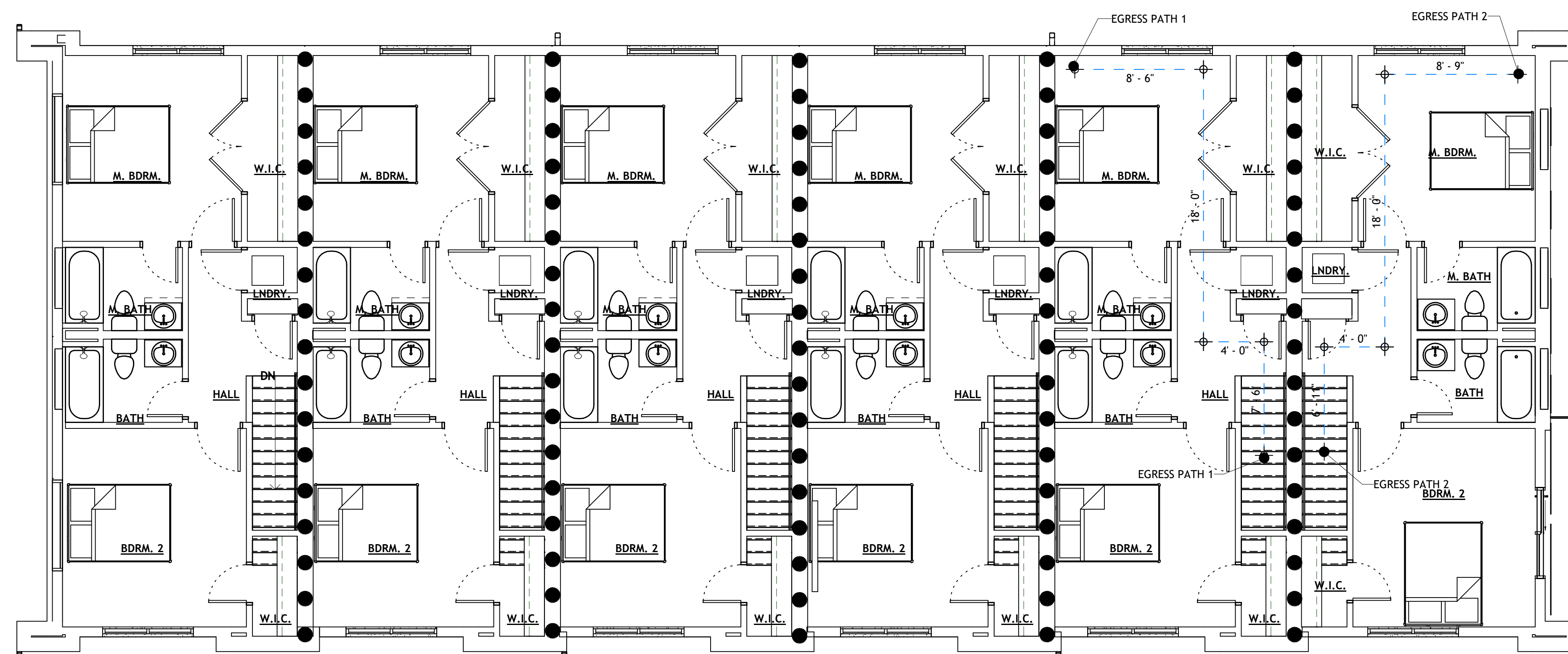
**LIFE SAFETY  
PLANS**

SHEET NUMBER

**G101**



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**SEPARATION LEGEND**

- TWO HOUR RATED ASSEMBLY. ASSEMBLY TO EXTEND TO ROOF DECK IN ALL CASES, INCLUDING ROOF OVERBUILDS.

**EGRESSES TRAVEL PATHS**

Type	Egress Path Length
EGRESS PATH 1	49'-6"
EGRESS PATH 2	76'-8 1/2"

**GENERAL NOTES**

- A. SEE SHEET G001 FOR ALL RELATED CODE COMPLIANCE INFORMATION.

PROJECT TITLE AND ADDRESS

**EUCLID TOWNHOMES**

922 EUCLID AVENUE, SALT LAKE CITY, UT 84104

REVISIONS

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PROJECT INFORMATION

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DRAWING SET STATUS  
**CONSTRUCTION DOCUMENTS**

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SHEET TITLE

**LIFE SAFETY PLANS**

SHEET NUMBER

**G102**

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CONSTRUCTION

CONSULTANT INFORMATION

PROJECT TITLE AND ADDRESS  
**EUCLID TOWNHOMES**

922 EUCLID AVENUE, SALT LAKE  
CITY, UT 84104

REVISIONS	
DESCRIPTION	DATE

PROJECT INFORMATION	
DATE:	15 MARCH 2024
PROJECT #:	23-129
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PIC:	MA

DRAWING SET STATUS  
**CONSTRUCTION DOCUMENTS**

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SHEET TITLE

**FOOTING AND FOUNDATION PLAN**

SHEET NUMBER

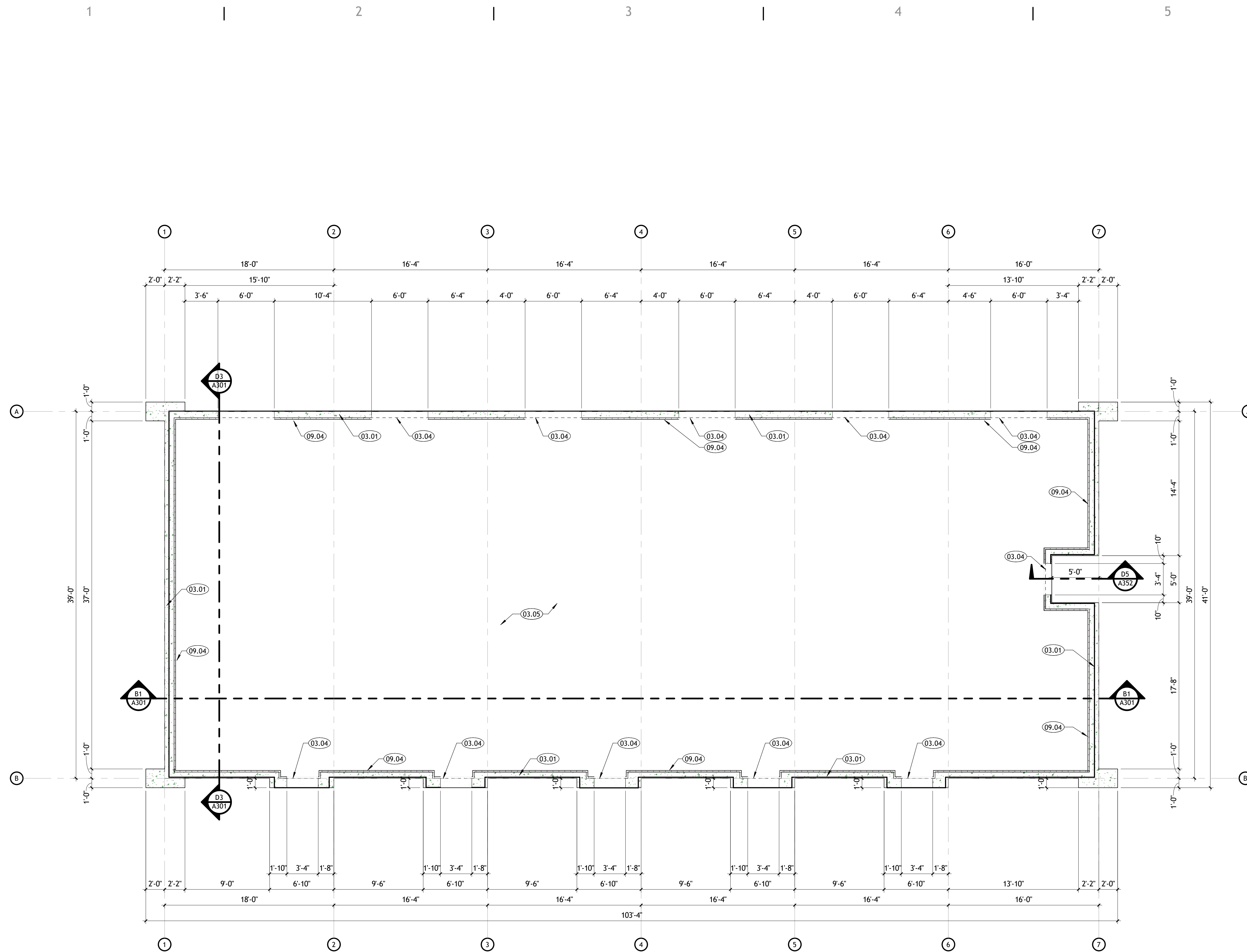
**A001**

**KEYNOTES**

- 03.01 CONCRETE FOUNDATION WALL. SEE STRUCTURAL.
- 03.04 DASHED LINES INDICATE INSIDE FACE OF CONCRETE FOUNDATION WALL AT ROLLED SLAB EDGE AT DOOR OR WINDOW OPENINGS.
- 03.05 CONCRETE SLAB OVER 4" OVER 10 MIL VAPOR RETARDER OVER FREE DRAINING GRAVEL. SEE STRUCTURAL FOR SLAB THICKNESS AND REINFORCING.
- 09.04 2" RIGID INSULATION WITH 1/8" THICK FOAM STRIPPING AT EDGE OF CONCRETE FLOOR SLAB.

**GENERAL NOTES**

- A. GENERAL CONTRACTOR SHALL VERIFY ALL CONDITIONS AND DIMENSIONS PRIOR TO CONSTRUCTION. REPORT ANY SIGNIFICANT DISCREPANCIES TO THE ARCHITECT.
- B. COORDINATE INSTALLATIONS OF ALL "AFTER CONTRACT" ASSEMBLIES WITH OWNER PRIOR TO CONSTRUCTION OF ADJOINING OR RELATED STRUCTURES.
- C. RECOMMENDATIONS FOUND IN THE GEOTECHNICAL STUDY PERFORMED ARE TO BE FOLLOWED STRICTLY.
- D. CONCRETE WALLS RETAINING EARTH TO RECEIVE TWO COATS BITUMINOUS DAMP PROOFING MATERIAL.
- E. MASONRY TO HAVE CONTROL JOINTS PER STRUCTURAL SHEETS.
- F. PROVIDE 2" THICK RIGID INSULATION (R-10.0 MINIMUM), WITH A VERTICAL DEPTH OF 24" MINIMUM, AROUND THE ENTIRE PERIMETER OF THE BUILDING FOUNDATION.
- G. SEE STRUCTURAL SHEETS FOR FOOTING AND FOUNDATION SIZES AND REINFORCING.
- H. SEE ENGINEERING SHEETS FOR ADDITIONAL INFORMATION.
- J. PROVIDE CONTROL JOINTS WHERE OCCURS UNDER TILE.



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**KEYNOTES**

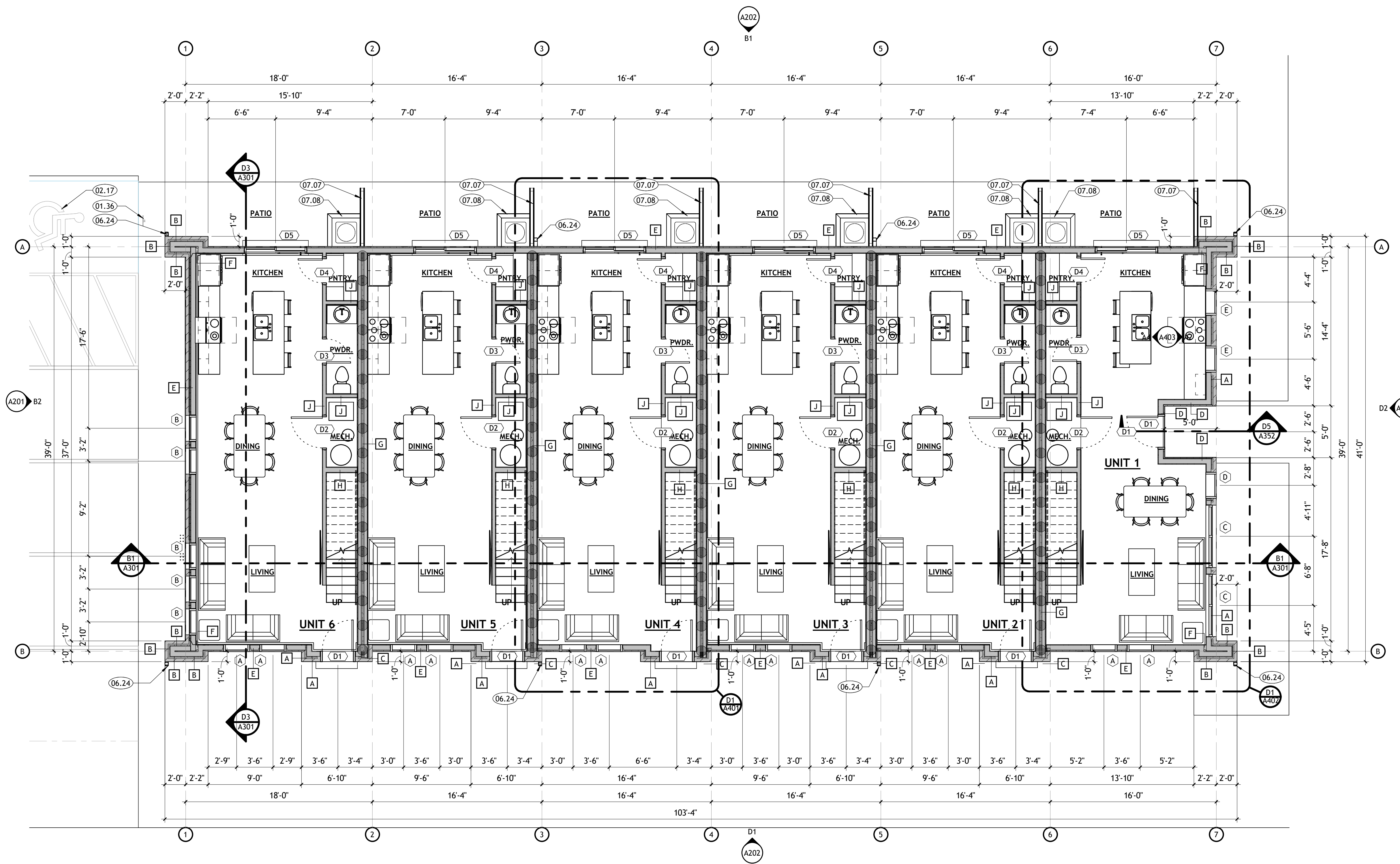
- 01.36 ADA VAN PARKING SIGN. SEE DETAIL ON SHEET A501.
- 02.17 ADA PARKING SYMBOL. PAINT COLOR TO BE WHITE.
- 06.24 PRE-FINISHED ALUMINUM DOWNSPOUT WITH CONCRETE SPLASH PAD
- 07.07 PRE-FINISHED SIMULATED WOOD PRIVACY FENCE.
- 07.08 PRE-FINISHED SIMULATED WOOD MECHANICAL SCREEN WITH VERTICAL PAINTED STEEL POSTS.

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**SEPARATION LEGEND**

- TWO HOUR RATED ASSEMBLY. ASSEMBLY TO EXTEND TO ROOF DECK IN ALL CASES, INCLUDING ROOF OVERBUILDS.

**GENERAL NOTES**

- A. GENERAL CONTRACTOR SHALL VERIFY ALL CONDITIONS AND DIMENSIONS PRIOR CONSTRUCTION. REPORT ANY SIGNIFICANT DISCREPANCIES TO THE ARCHITECT.
- B. COORDINATE INSTALLATIONS OF ALL "AFTER CONTRACT" ASSEMBLIES WITH OWNER PRIOR TO CONSTRUCTION OF ADJOINING OR RELATED STRUCTURES.
- C. PROVIDE 18" MINIMUM CLEAR FLOOR SPACE AT PULL SIDE OF ALL DOORS. PROVIDE 12" MINIMUM CLEAR FLOOR SPACE AT PUSH SIDE OF ALL DOORS.
- D. UNLESS OTHERWISE NOTED OR DIMENSIONED, LOCATE DOORS AS FOLLOWS:
  - MASONRY WALLS- OUTSIDE OF FRAME 8" FROM FACE OF WALL (ON BLOCK MODULE).
  - FRAMED WALLS-INSIDE OF JAMB 4" FROM FINISHED WALL (ADJUST FOR TILE WHERE SHOWN).
- E. CONCRETE FOUNDATION WALLS RETAINING EARTH TO RECEIVE TWO COATS OF BITUMINOUS DAMP PROOFING MATERIAL.
- F. SEE STRUCTURAL, MECHANICAL, AND ELECTRICAL SHEETS FOR ADDITIONAL INFORMATION
- G. SEE INTERIOR ELEVATIONS AND MILLWORK DETAILS ON A403 FOR FINISHES OF MILLWORK BASES, AND COUNTERTOPS
- H. SEE SHEETS A151, A152 FOR REFLECTED CEILING PLAN INFORMATION.
- I. SEE A601 AND A602 FOR DOOR AND WINDOW INFORMATION.
- J. GENERAL CONTRACTOR SHALL REVIEW AND APPROVE ALL APPLIANCES WITH OWNER PRIOR TO PURCHASING EQUIPMENT AND FABRICATING MILLWORK.
- K. SEE THE SPECIFICATION FOR ADDITIONAL INFORMATION.
- L. SEE G000 FOR LEGENDS, SYMBOLS, ABBREVIATIONS AND OTHER ARCHITECTURAL GENERAL INFORMATION.
- M. SEE G002 FOR WALL TYPES.
- N. PROVIDE BACKING/BLOCKING FOR WALL MOUNTED ITEMS-INCLUDING GRAB BARS, HANDRAILS, SIGNAGE AND EQUIPMENT AS REQUIRED.
- O. TILE IS TO BE SET OVER CEMENTITIOUS BACKER BOARD UNDERLAYMENT. RECESS SLAB AS/IF REQUIRED. VERIFY WITH OWNER.
- P. DO NOT SCALE DRAWINGS.

PROJECT TITLE AND ADDRESS  
**EUCLID TOWNHOMES**

922 EUCLID AVENUE, SALT LAKE CITY, UT 84104

REVISIONS	
DESCRIPTION	DATE

PROJECT INFORMATION	
DATE:	15 MARCH 2024
PROJECT #:	23-129
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PIC:	MA

DRAWING SET STATUS  
**CONSTRUCTION DOCUMENTS**

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SHEET TITLE

**FLOOR PLAN - LEVEL 1**

SHEET NUMBER  
**A101**

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DRAWING SET STATUS  
**CONSTRUCTION DOCUMENTS**

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TO BE PRINTED IN COLOR

SHEET TITLE

**FLOOR PLAN -  
LEVEL 2**

SHEET NUMBER

**A102**

**KEYNOTES**

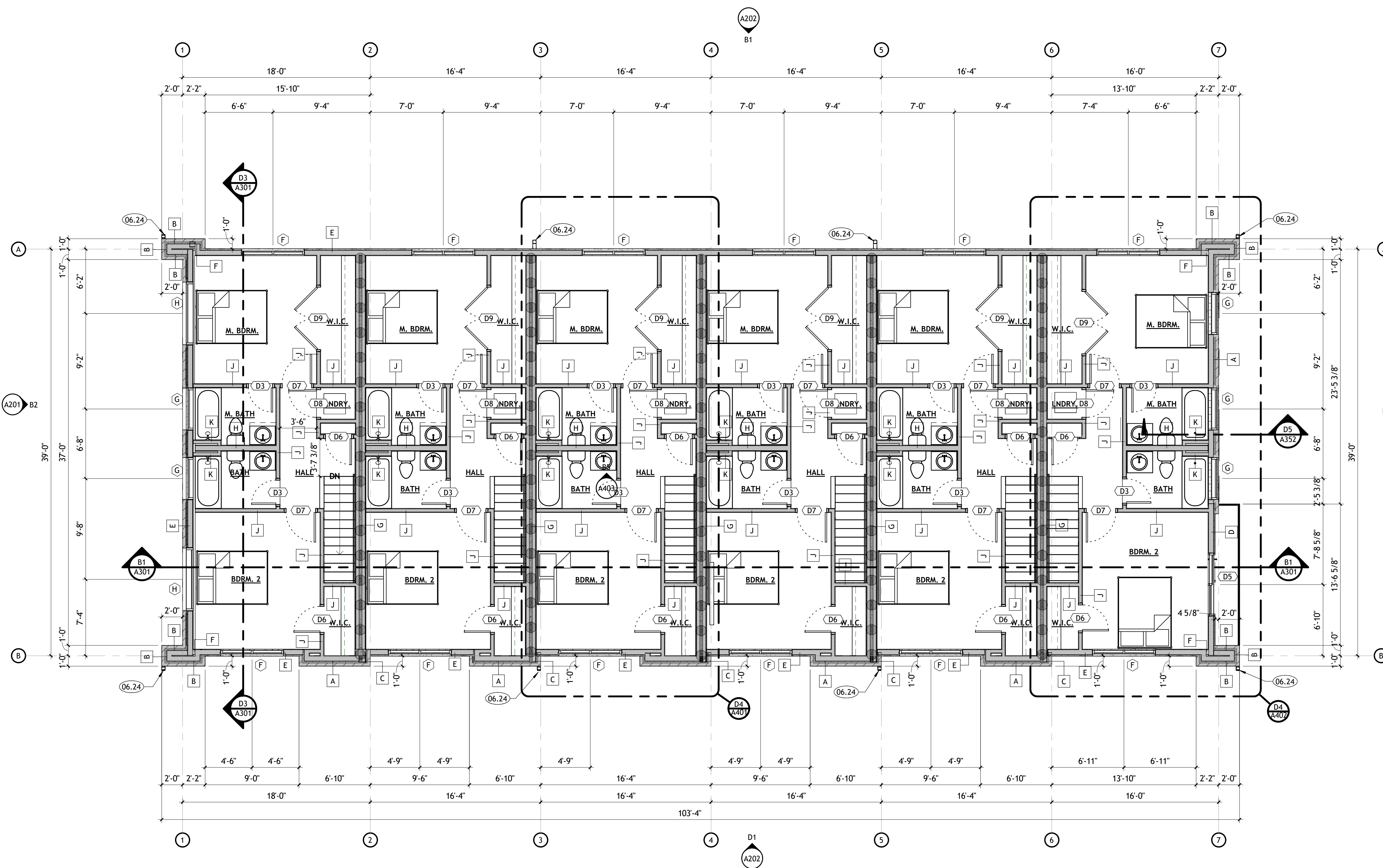
06.24 PRE-FINISHED ALUMINUM DOWNSPOUT WITH CONCRETE SPLASH PAD

**SEPARATION LEGEND**

● TWO HOUR RATED ASSEMBLY. ASSEMBLY TO EXTEND TO ROOF DECK IN ALL CASES, INCLUDING ROOF OVERBUILDS.

**GENERAL NOTES**

- GENERAL CONTRACTOR SHALL VERIFY ALL CONDITIONS AND DIMENSIONS PRIOR TO CONSTRUCTION. REPORT ANY SIGNIFICANT DISCREPANCIES TO THE ARCHITECT.
- COORDINATE INSTALLATIONS OF ALL "AFTER CONTRACT" ASSEMBLIES WITH OWNER PRIOR TO CONSTRUCTION OF ADJOINING OR RELATED STRUCTURES.
- PROVIDE 18" MINIMUM CLEAR FLOOR SPACE AT PULL SIDE OF ALL DOORS. PROVIDE 12" MINIMUM CLEAR FLOOR SPACE AT PUSH SIDE OF ALL DOORS.
- UNLESS OTHERWISE NOTED OR DIMENSIONED, LOCATE DOORS AS FOLLOWS:
  - MASONRY WALLS- OUTSIDE OF FRAME 8" FROM FACE OF WALL (ON BLOCK MODULE).
  - FRAMED WALLS- INSIDE OF JAMB 4" FROM FINISHED WALL (ADJUST FOR TILE WHERE SHOWN).
- CONCRETE FOUNDATION WALLS RETAINING EARTH TO RECEIVE TWO COATS OF BITUMINOUS DAMP PROOFING MATERIAL.
- SEE STRUCTURAL, MECHANICAL, AND ELECTRICAL SHEETS FOR ADDITIONAL INFORMATION.
- SEE INTERIOR ELEVATIONS AND MILLWORK DETAILS ON A403 FOR FINISHES OF MILLWORK BASES, AND COUNTERTOPS.
- SEE SHEETS A151, A152 FOR REFLECTED CEILING PLAN INFORMATION.
- GENERAL CONTRACTOR SHALL REVIEW AND APPROVE ALL APPLIANCES WITH OWNER PRIOR TO PURCHASING EQUIPMENT AND FABRICATING MILLWORK.
- SEE THE SPECIFICATION FOR ADDITIONAL INFORMATION.
- SEE G000 FOR LEGENDS, SYMBOLS, ABBREVIATIONS AND OTHER ARCHITECTURAL GENERAL INFORMATION.
- SEE G002 FOR WALL TYPES.
- PROVIDE BACKING/BLOCKING FOR WALL MOUNTED ITEMS-INCLUDING GRAB BARS, HANDRAILS, SIGNAGE AND EQUIPMENT AS REQUIRED.
- TILE IS TO BE SET OVER CEMENTITIOUS BACKER BOARD UNDERLAYMENT. RECESS SLAB AS/IF REQUIRED. VERIFY WITH OWNER.
- DO NOT SCALE DRAWINGS.

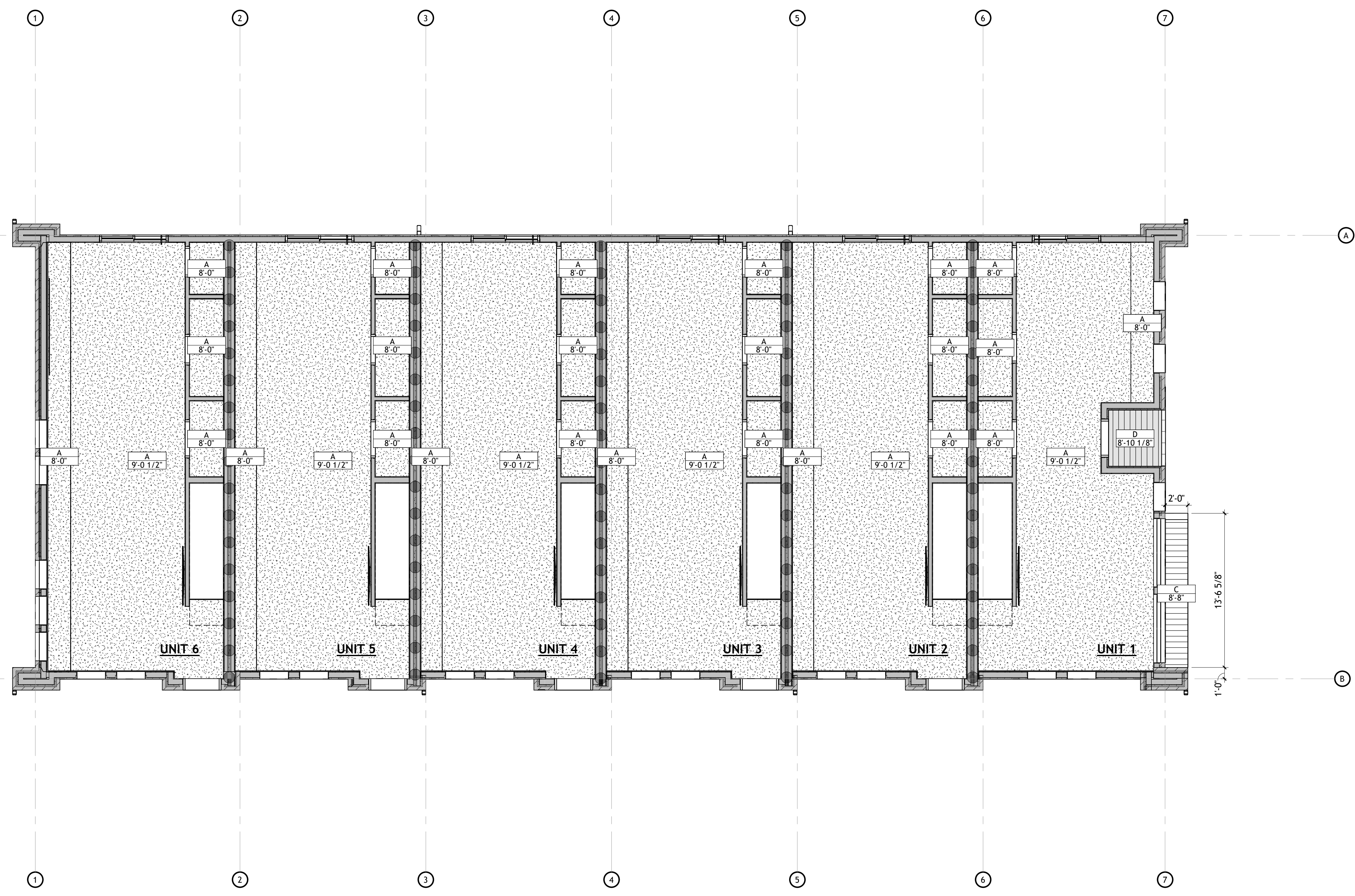


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**SEPARATION LEGEND**

- TWO HOUR RATED ASSEMBLY, ASSEMBLY TO EXTEND TO ROOF DECK IN ALL CASES, INCLUDING ROOF OVERBUILDS.

**CEILING LEGEND**

- A** [Pattern] PAINTED 5/8" TYPE "X" GYPSUM BOARD WITH SMOOTH FINISH.
- B** [Pattern] PAINTED 3/8" FIBER CEMENT BOARD WITH PLANK FINISH.
- C** [Pattern] VENTED ALUMINUM SOFFIT PANELS.
- D** [Pattern] PAINTED 3/8" FIBER CEMENT BOARD WITH PLANK FINISH OVER 1" EPS INSULATION OVER PLYWOOD SHEATHING.

PROJECT TITLE AND ADDRESS

**EUCLID TOWNHOMES**

922 EUCLID AVENUE, SALT LAKE CITY, UT 84104

REVISIONS

Δ	DESCRIPTION	DATE

PROJECT INFORMATION

DATE: 15 MARCH 2024  
PROJECT #: 23-129  
PM / PA: AS  
PIC: MA

DRAWING SET STATUS  
**CONSTRUCTION DOCUMENTS**

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SHEET TITLE

**REFLECTED CEILING PLAN - LEVEL 1**

SHEET NUMBER

**A151**

**GENERAL NOTES**

- GENERAL CONTRACTOR SHALL VERIFY ALL CONDITIONS, DIMENSIONS, AND ASSEMBLIES PRIOR TO CONSTRUCTION. REPORT ANY SIGNIFICANT DISCREPANCIES TO THE ARCHITECT.
- MECHANICAL, PLUMBING, ELECTRICAL, AND CEILING SUBCONTRACTORS SHALL COORDINATE THEIR WORK. IN CASE OF CONFLICT, THE REFLECTED CEILING PLAN SHALL TAKE PRECEDENCE.
- SEE ENGINEERING SHEETS FOR ADDITIONAL REQUIREMENTS.
- CEILING HEIGHTS SHOWN ARE ABOVE FINISH FLOOR IN WHICH THEY ARE CALLED.
- COORDINATE LOCATION OF MECHANICAL DIFFUSERS IN WALLS WITH ARCHITECT.
- PAINT UNDERSIDE OF EXPOSED OPEN CEILING. VERIFY WITH OWNER.
- DO NOT SCALE DRAWINGS.





**SEPARATION LEGEND**

- TWO HOUR RATED ASSEMBLY. ASSEMBLY TO EXTEND TO ROOF DECK IN ALL CASES, INCLUDING ROOF OVERBUILDS.

**CEILING LEGEND**

- A PAINTED 5/8" TYPE "X" GYPSUM BOARD WITH SMOOTH FINISH.
- B PAINTED 3/8" FIBER CEMENT BOARD WITH PLANK FINISH.
- C VENTED ALUMINUM SOFFIT PANELS.
- D PAINTED 3/8" FIBER CEMENT BOARD WITH PLANK FINISH OVER 1" EPS INSULATION OVER PLYWOOD SHEATHING.

PROJECT TITLE AND ADDRESS  
**EUCLID TOWNHOMES**  
922 EUCLID AVENUE, SALT LAKE CITY, UT 84104

**REVISIONS**

△ DESCRIPTION	DATE

**PROJECT INFORMATION**

DATE: 15 MARCH 2024  
PROJECT #: 23-129  
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PIC: MA

**DRAWING SET STATUS  
CONSTRUCTION DOCUMENTS**

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SHEET TITLE

**REFLECTED CEILING PLAN - LEVEL 2**

SHEET NUMBER

**A152**

**GENERAL NOTES**

- GENERAL CONTRACTOR SHALL VERIFY ALL CONDITIONS, DIMENSIONS, AND ASSEMBLIES PRIOR TO CONSTRUCTION. REPORT ANY SIGNIFICANT DISCREPANCIES TO THE ARCHITECT.
- MECHANICAL, PLUMBING, ELECTRICAL, AND CEILING SUBCONTRACTORS SHALL COORDINATE THEIR WORK. IN CASE OF CONFLICT, THE REFLECTED CEILING PLAN SHALL TAKE PRECEDENCE.
- SEE ENGINEERING SHEETS FOR ADDITIONAL REQUIREMENTS.
- CEILING HEIGHTS SHOWN ARE ABOVE FINISH FLOOR IN WHICH THEY ARE CALLED.
- COORDINATE LOCATION OF MECHANICAL DIFFUSERS IN WALLS WITH ARCHITECT.
- PAINT UNDERSIDE OF OPEN CEILING. VERIFY WITH OWNER.
- DO NOT SCALE DRAWINGS.

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**KEYNOTES**

04.35 ATTIC DRAFTSTOPS OF (2) 1" GYPSUM LINER PANELS. SEE DETAILS ON SHEET A501.

**ATTIC VENTILATION CALCULATIONS**

ALL ATTIC SPACE MUST COMPLY WITH IBC 1202.2 WITH A MINIMUM OF 1/150 AREA VENTILATION. 40% MINIMUM UP TO 50% MAXIMUM AREA SHALL BE PROVIDED WITHIN 36" OF THE RIDGE FOR THE HIGH VENTILATED AREA. MINIMUM 50% OF THE REQUIRED VENTILATING OPENINGS IN THE LOWER PORTION OF THE ATTIC SHALL ALSO BE PROVIDED AND MINIMUM ABOVE EAVE VENTS.

TOTAL ATTIC VENTILATION REQUIRED:  
3,857 SQ.FT. / 150 = 25.71 SQ.FT. X 144 = 3,702.72 TOTAL SQ. IN. / 2 = 1,851.36 SQ. IN. HIGH VENTILATION & 1,851.36 SQ. IN. LOW VENTILATION REQUIRED.

TOTAL HIGH ATTIC VENTILATION PROVIDED:  
14 (TURTLE VENTS) X 1 SQ.FT. = 14 SQ.FT. X 144 = 2,016 SQ. IN. VENTILATION PROVIDED

TOTAL LOW ATTIC VENTILATION PROVIDED:  
CENTER VENT SOFFIT PANELS

**SEPARATION LEGEND**

● TWO HOUR RATED ASSEMBLY. ASSEMBLY TO EXTEND TO ROOF DECK IN ALL CASES, INCLUDING ROOF OVERBUILDS.

**GENERAL NOTES**

- A. GENERAL CONTRACTOR SHALL VERIFY ALL CONDITIONS, DIMENSIONS, AND ASSEMBLIES PRIOR TO CONSTRUCTION. REPORT ANY SIGNIFICANT DISCREPANCIES TO THE ARCHITECT.
- B. MINIMUM ROOF CLASSIFICATION TO BE AS NOTED ON THE CODE ANALYSIS.
- C. COORDINATE INSTALLATION OF ALL "AFTER CONTRACT" ASSEMBLIES PRIOR TO CONSTRUCTION OF ADJOINING OR RELATED STRUCTURES.
- D. MINIMUM ROOF SLOPE TO BE 1/4" PER FOOT.
- E. INSULATE ENTIRE ROOF WITH R-53 BLOWN-IN INSULATION.
- F. DO NOT SCALE DRAWINGS.

PROJECT TITLE AND ADDRESS  
**EUCLID TOWNHOMES**

922 EUCLID AVENUE, SALT LAKE CITY, UT 84104

REVISIONS

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PROJECT INFORMATION

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**CONSTRUCTION DOCUMENTS**

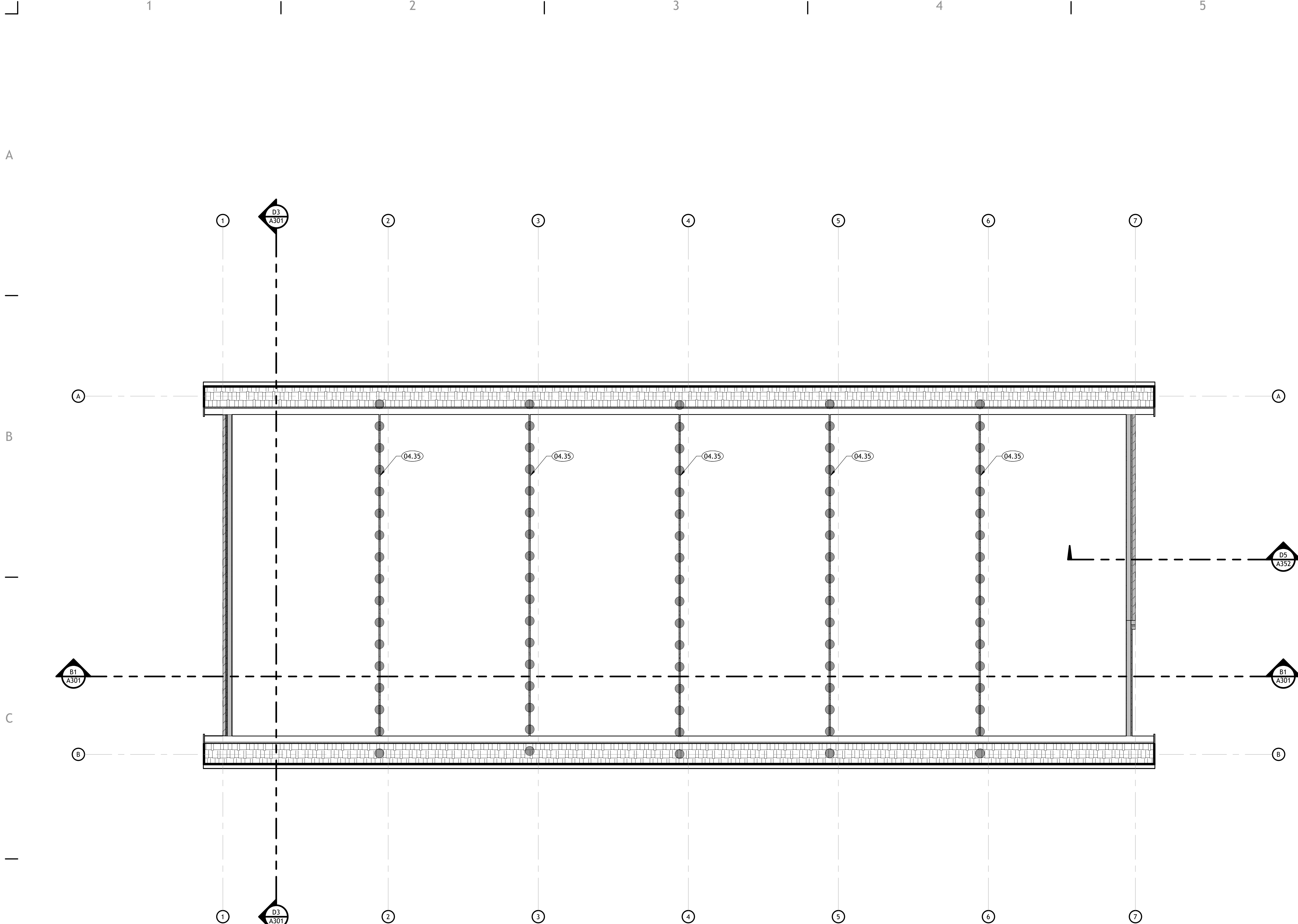
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SHEET TITLE

**ATTIC DRAFT STOP PLAN**

SHEET NUMBER

**A161**



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**KEYNOTES**

- 06.18 HATCHED AREA INDICATES FIRE RETARDANT TREATED PLYWOOD SHEATHING MINIMUM 4'-0" MEASURED PERPENDICULAR FROM UNIT SEPARATION WALLS. SEE DETAILS ON SHEET A501.
- 06.23 ARCHITECTURAL ASPHALT SHINGLES OVER 30# FELT. PROVIDE WITH ICE AND WATER SHIELD OVER PLYWOOD ROOF SHEATHING AT EAVE AND VALLEYS. SEE STRUCTURAL. INSTALL PER MANUFACTURER'S RECOMMENDATIONS.
- 06.25 RAIN GUTTER WITH 1/8":1'-0" MIN. SLOPE
- 06.30 12" X 12" MIN. TURTLE VENT.

**ATTIC VENTILATION CALCULATIONS**

ALL ATTIC SPACE MUST COMPLY WITH IBC 1202.2 WITH A MINIMUM OF 1/150 AREA VENTILATION. 40% MINIMUM UP TO 50% MAXIMUM AREA SHALL BE PROVIDED WITHIN 36" OF THE RIDGE FOR THE HIGH VENTILATED AREA. MINIMUM 50% OF THE REQUIRED VENTILATING OPENINGS IN THE LOWER PORTION OF THE ATTIC SHALL ALSO BE PROVIDED AND MINIMUM ABOVE EAVE VENTS.

TOTAL ATTIC VENTILATION REQUIRED:  
3,857 SQ.FT. / 150 = 25.71 SQ.FT. X 144 = 3,702.72 TOTAL SQ. IN. / 2 = 1,851.36 SQ. IN. HIGH VENTILATION & 1,851.36 SQ. IN. LOW VENTILATION REQUIRED.

TOTAL HIGH ATTIC VENTILATION PROVIDED:  
14 (TURTLE VENTS) X 1 SQ.FT. = 14 SQ.FT. X 144 = 2,016 SQ. IN. VENTILATION PROVIDED

TOTAL LOW ATTIC VENTILATION PROVIDED:  
CENTER VENT SOFFIT PANELS

**GENERAL NOTES**

- A. GENERAL CONTRACTOR SHALL VERIFY ALL CONDITIONS, DIMENSIONS, AND ASSEMBLIES PRIOR TO CONSTRUCTION. REPORT ANY SIGNIFICANT DISCREPANCIES TO THE ARCHITECT.
- B. MINIMUM ROOF CLASSIFICATION TO BE AS NOTED ON THE CODE ANALYSIS.
- C. COORDINATE INSTALLATION OF ALL "AFTER CONTRACT" ASSEMBLIES PRIOR TO CONSTRUCTION OF ADJOINING OR RELATED STRUCTURES.
- D. MINIMUM ROOF SLOPE TO BE 1/4" PER FOOT.
- E. INSULATE ENTIRE ROOF WITH R-53 BLOWN-IN INSULATION.
- F. DO NOT SCALE DRAWINGS.

PROJECT TITLE AND ADDRESS  
**EUCLID TOWNHOMES**

922 EUCLID AVENUE, SALT LAKE CITY, UT 84104

REVISIONS	
DESCRIPTION	DATE

PROJECT INFORMATION	
DATE:	15 MARCH 2024
PROJECT #:	23-129
PM / PA:	AS
PIC:	MA

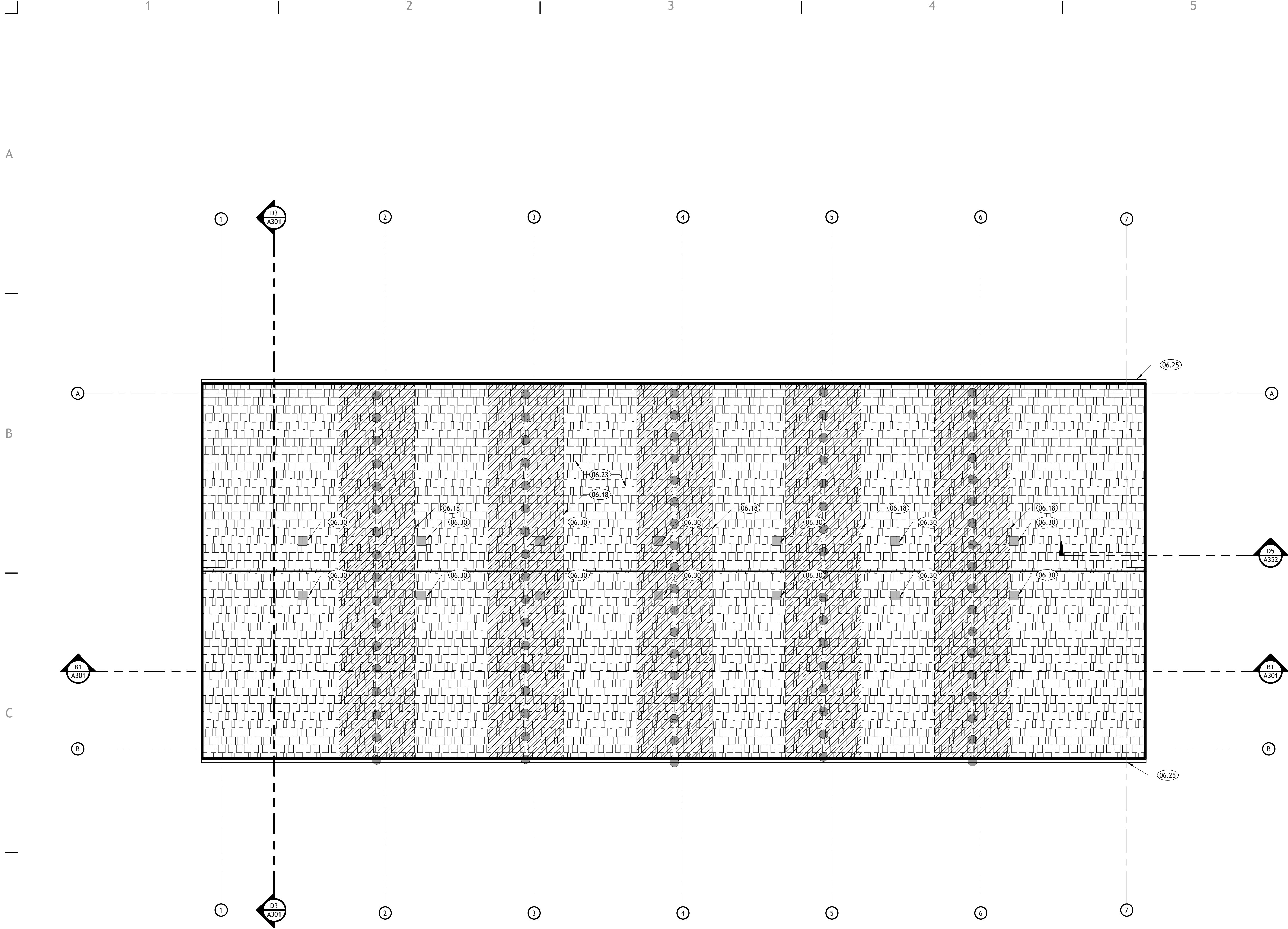
DRAWING SET STATUS  
**CONSTRUCTION DOCUMENTS**

THIS DRAWING SET IS INTENDED TO BE PRINTED IN COLOR

SHEET TITLE

**ROOF PLAN**

SHEET NUMBER  
**A171**



Autodesk Docs / 23-129 Euclid Townhomes / 23-129 Euclid Townhomes.rvt  
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**KEYNOTES**

- 02.01 GAS METER LOCATION. SEE CIVIL SITE PLAN.
- 02.02 ELECTRIC METER LOCATION. SEE CIVIL SITE PLAN.
- 02.06 PAINTED STEEL 42" HIGH GUARDRAIL. SEE DETAILS ON SHEET A502.
- 02.52 TRASH CANS BY OTHERS.
- 06.24 PRE-FINISHED ALUMINUM DOWNSPOUT WITH CONCRETE SPLASH PAD
- 06.25 RAIN GUTTER WITH 1/8":1'-0" MIN. SLOPE
- 07.07 PRE-FINISHED SIMULATED WOOD PRIVACY FENCE. SEE LEGEND ON SHEET A201 FOR GROUND FLOOR GLASS REQUIREMENTS.
- 07.09



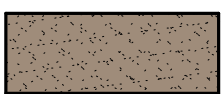



**STREET-FACING FACADE GLASS CALCULATION**

THE GROUND FLOOR BUILDING ELEVATION OF ALL NEW BUILDINGS FACING A STREET SHALL HAVE MINIMUM AMOUNT OF GLASS BETWEEN 3'-0" AND 8'-0" ABOVE GRADE. ALL GROUND FLOOR GLASS SHALL ALLOW UNHAMPERED AND UNOBSTRUCTED VISIBILITY INTO THE BUILDING FOR A DEPTH OF AT LEAST 5'-0".

TSA ZONING DISTRICT (RESIDENTIAL) GLASS PERCENTAGE REQUIRED: 45%

GLASS PERCENTAGE PROVIDED:  
502 S.F. (BUILDING ELEVATION AREA) / 93 S.F. (GLASS AREA) = 45%

**EXTERIOR MATERIAL LEGEND**

EM1		BRICK
EM2		HARDCOAT STUCCO SYSTEM - WHITE
EM3		HARDCOAT STUCCO SYSTEM - TAN
EM4		HORIZONTAL FIBER CEMENT BOARD - PAINTED
EM5		ASPHALT SHINGLES
EM6		METAL TRIM

**GENERAL NOTES**

- A. GENERAL CONTRACTOR SHALL VERIFY ALL CONDITIONS, DIMENSIONS, AND ASSEMBLIES PRIOR TO CONSTRUCTION. REPORT ANY SIGNIFICANT DISCREPANCIES TO THE ARCHITECT.
- B. ALL MASONRY WALLS TO HAVE CONTROL JOINTS AT 30'-0" O.C. MAXIMUM. VERIFY WITH STRUCTURAL.
- C. EXPOSED CONCRETE FOUNDATION AND RETAINING WALLS TO RECEIVE RUBBED FINISH.
- D. CONCRETE WALL RETAINING EARTH TO RECEIVE TWO COATS OF BITUMINOUS DAMP PROOFING MATERIAL.
- E. PROVIDE PRE-FINISHED NUMBERS ON THE FRONT, EXTERIOR OF THE BUILDING INDICATING THE BUILDING ADDRESS NUMBER ASSIGNED BY THE CITY IN ACCORDANCE WITH CURRENT CITY ORDINANCE. COLOR OF PRE-FINISHED NUMBERS TO CONTRAST SIGNIFICANTLY WITH BACKGROUND COLOR OF EXTERIOR WALL. THAT ADDRESS MUST BE PERMANENTLY FASTENED TO THE EXTERIOR OF THE BUILDING PRIOR TO OCCUPANCY.
- F. SEE CIVIL SHEETS FOR LOCATION OF GAS METER ALONG EXTERIOR WALL.
- G. EXTERIOR SIGNAGE: THE OWNER IS RESPONSIBLE TO OBTAIN A SEPARATE PERMIT FOR ANY EXTERIOR SIGNS IN ACCORDANCE WITH CURRENT CITY SIGN ORDINANCE. THE OWNER IS RESPONSIBLE TO CONTRACT DIRECTLY WITH SIGN VENDORS. SIGN VENDORS SHALL INSTALL THEIR RESPECTIVE SIGNAGE. THE CONTRACTOR IS RESPONSIBLE TO PROVIDE AND COORDINATE ALL BACKING AND POWER REQUIREMENTS FOR EACH SIGN.
- H. NOT ALL SHEET NOTES ARE NECESSARILY USED ON EACH SHEET.

PROJECT TITLE AND ADDRESS

**EUCLID TOWNHOMES**

922 EUCLID AVENUE, SALT LAKE CITY, UT 84104

REVISIONS	
DESCRIPTION	DATE

PROJECT INFORMATION	
DATE:	15 MARCH 2024
PROJECT #:	23-129
PM / PA:	AS
PIC:	MA

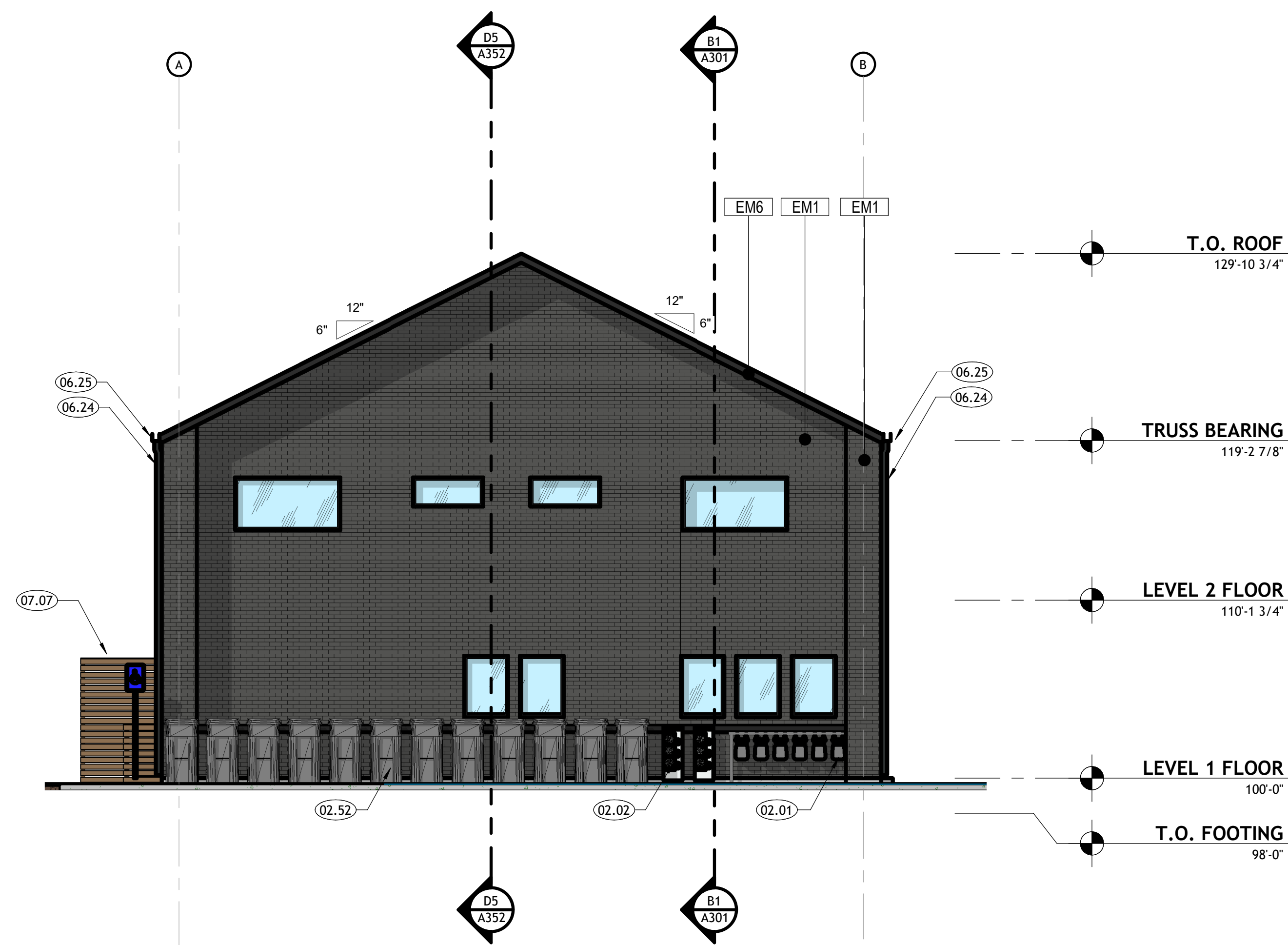
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**CONSTRUCTION DOCUMENTS**

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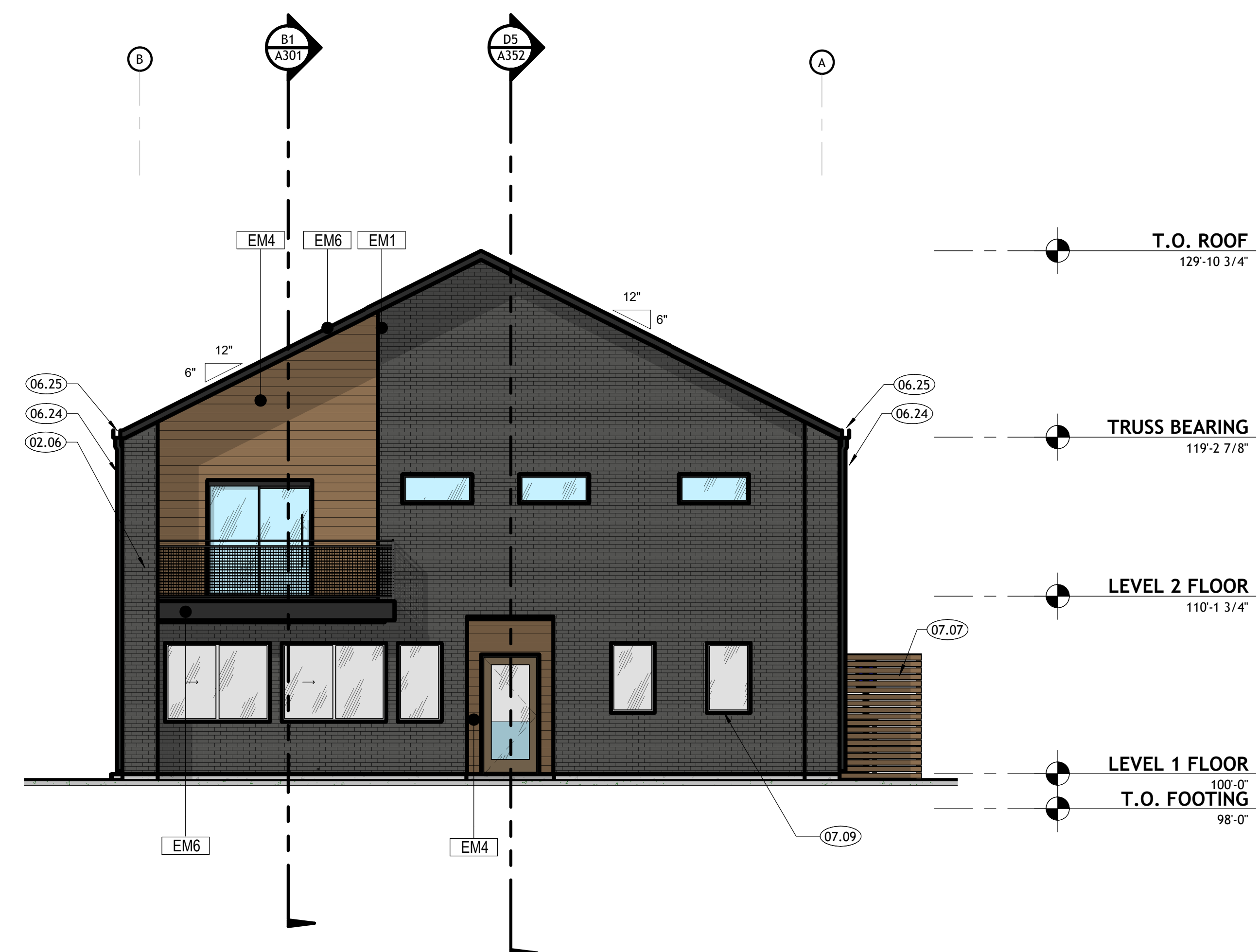
SHEET TITLE

**EXTERIOR ELEVATIONS**

SHEET NUMBER  
**A201**



**B2** NORTH ELEVATION  
A201 | SCALE: 3/16" = 1'-0"



**D2** SOUTH ELEVATION  
A201 | SCALE: 3/16" = 1'-0"



**B1 WEST ELEVATION**  
A202 | SCALE: 3/16" = 1'-0"



**D1 EAST ELEVATION**  
A202 | SCALE: 3/16" = 1'-0"

**KEYNOTES**

- 02.50 MONUMENT SIGN LOCATION.
- 06.23 ARCHITECTURAL ASPHALT SHINGLES OVER 30# FELT. PROVIDE WITH ICE AND WATER SHIELD OVER PLYWOOD ROOF SHEATHING AT EAVE AND VALLEYS. SEE STRUCTURAL. INSTALL PER MANUFACTURER'S RECOMMENDATIONS.
- 06.24 PRE-FINISHED ALUMINUM DOWNSPOUT WITH CONCRETE SPLASH PAD
- 06.25 RAIN GUTTER WITH 1/8":1'-0" MIN. SLOPE
- 07.07 PRE-FINISHED SIMULATED WOOD PRIVACY FENCE.
- 07.08 PRE-FINISHED SIMULATED WOOD MECHANICAL SCREEN WITH VERTICAL PAINTED STEEL POSTS.



233 SOUTH PLEASANT GROVE BLVD.  
SUITE #105  
PLEASANT GROVE, UTAH 84062  
PHONE: (801) 769-3000  
core@corearch.com

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CONSULTANT INFORMATION

PROJECT TITLE AND ADDRESS  
**EUCLID TOWNHOMES**

922 EUCLID AVENUE, SALT LAKE CITY, UT 84104

**EXTERIOR MATERIAL LEGEND**

EM1		BRICK
EM2		HARDCOAT STUCCO SYSTEM - WHITE
EM3		HARDCOAT STUCCO SYSTEM - TAN
EM4		HORIZONTAL FIBER CEMENT BOARD - PAINTED
EM5		ASPHALT SHINGLES
EM6		METAL TRIM

**GENERAL NOTES**

- A. GENERAL CONTRACTOR SHALL VERIFY ALL CONDITIONS, DIMENSIONS, AND ASSEMBLIES PRIOR TO CONSTRUCTION. REPORT ANY SIGNIFICANT DISCREPANCIES TO THE ARCHITECT.
- B. ALL MASONRY WALLS TO HAVE CONTROL JOINTS AT 30'-0" O.C. MAXIMUM. VERIFY WITH STRUCTURAL.
- C. EXPOSED CONCRETE FOUNDATION AND RETAINING WALLS TO RECEIVE RUBBED FINISH.
- D. CONCRETE WALL RETAINING EARTH TO RECEIVE TWO COATS OF BITUMINOUS DAMP PROOFING MATERIAL.
- E. PROVIDE PRE-FINISHED NUMBERS ON THE FRONT, EXTERIOR OF THE BUILDING INDICATING THE BUILDING ADDRESS NUMBER ASSIGNED BY THE CITY IN ACCORDANCE WITH CURRENT CITY ORDINANCE. COLOR OF PRE-FINISHED NUMBERS TO CONTRAST SIGNIFICANTLY WITH BACKGROUND COLOR OF EXTERIOR WALL. THAT ADDRESS MUST BE PERMANENTLY FASTENED TO THE EXTERIOR OF THE BUILDING PRIOR TO OCCUPANCY.
- F. SEE CIVIL SHEETS FOR LOCATION OF GAS METER ALONG EXTERIOR WALL.
- G. EXTERIOR SIGNAGE: THE OWNER IS RESPONSIBLE TO OBTAIN A SEPARATE PERMIT FOR ANY EXTERIOR SIGNS IN ACCORDANCE WITH CURRENT CITY SIGN ORDINANCE. THE OWNER IS RESPONSIBLE TO CONTRACT DIRECTLY WITH SIGN VENDORS. SIGN VENDORS SHALL INSTALL THEIR RESPECTIVE SIGNAGE. THE CONTRACTOR IS RESPONSIBLE TO PROVIDE AND COORDINATE ALL BACKING AND POWER REQUIREMENTS FOR EACH SIGN.
- H. NOT ALL SHEET NOTES ARE NECESSARILY USED ON EACH SHEET.

REVISIONS	
DESCRIPTION	DATE

PROJECT INFORMATION  
DATE: 15 MARCH 2024  
PROJECT #: 23-129  
PM / PA: AS  
PIC: MA

DRAWING SET STATUS  
**CONSTRUCTION DOCUMENTS**

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SHEET TITLE

**EXTERIOR ELEVATIONS**

SHEET NUMBER

**A202**

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1 | 2 | 3 | 4 | 5 | 6

A

B

C

D



**B2** EXTERIOR PERSPECTIVE 1  
A203 | SCALE:



**D2** EXTERIOR PERSPECTIVE 2  
A203 | SCALE:

PROJECT TITLE AND ADDRESS  
**EUCLID TOWNHOMES**

922 EUCLID AVENUE, SALT LAKE  
CITY, UT 84104

REVISIONS

Δ DESCRIPTION	DATE

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DATE:	15 MARCH 2024
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PIC:	MA

DRAWING SET STATUS  
**CONSTRUCTION DOCUMENTS**

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SHEET TITLE

**EXTERIOR PERSPECTIVES**

SHEET NUMBER

**A203**

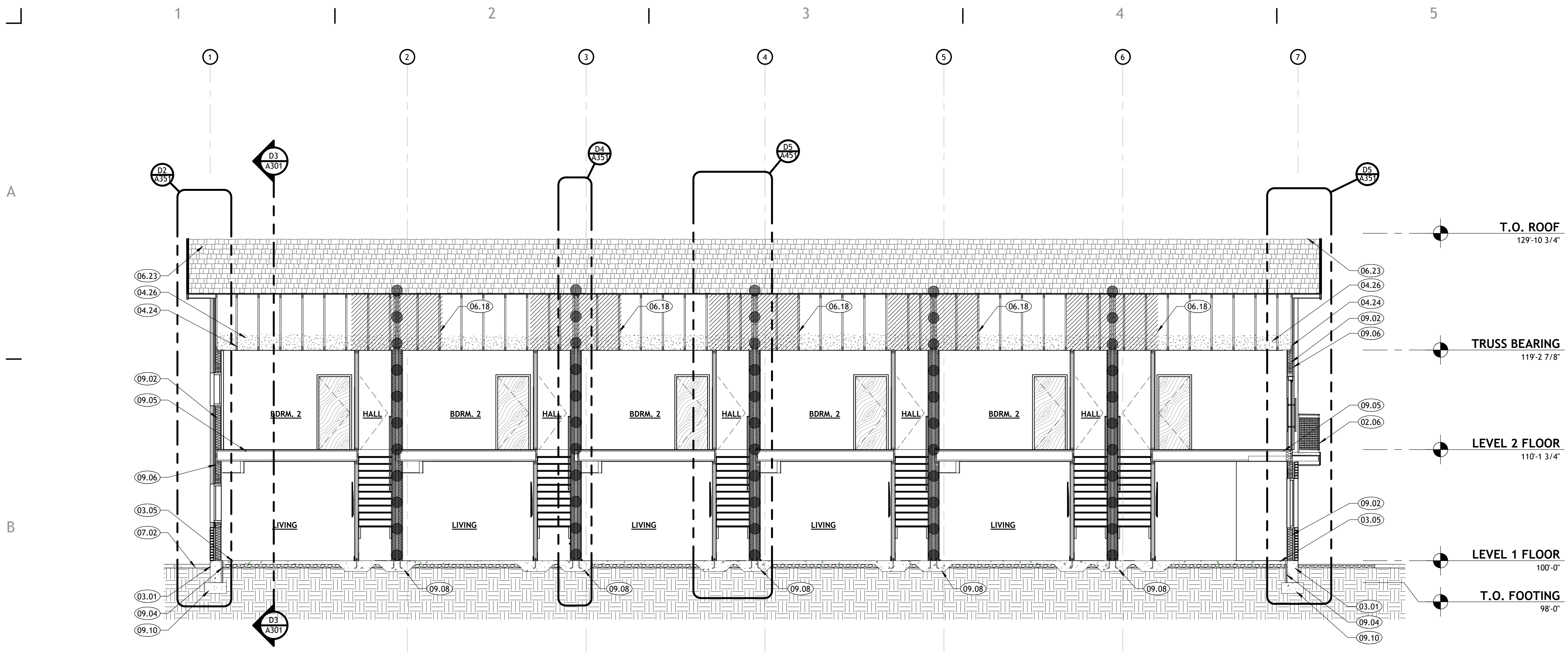
**GENERAL NOTES**

- A. GENERAL CONTRACTOR SHALL VERIFY ALL CONDITIONS, DIMENSIONS, AND ASSEMBLIES PRIOR TO CONSTRUCTION. REPORT ANY SIGNIFICANT DISCREPANCIES TO THE ARCHITECT.
- B. ALL MASONRY WALLS TO HAVE CONTROL JOINTS AT 30'-0" O.C. MAXIMUM. VERIFY WITH STRUCTURAL.
- C. EXPOSED CONCRETE FOUNDATION AND RETAINING WALLS TO RECEIVE RUBBED FINISH.
- D. CONCRETE WALL RETAINING EARTH TO RECEIVE TWO COATS OF BITUMINOUS DAMP PROOFING MATERIAL.
- E. PROVIDE PRE-FINISHED NUMBERS ON THE FRONT, EXTERIOR OF THE BUILDING INDICATING THE BUILDING ADDRESS NUMBER ASSIGNED BY THE CITY IN ACCORDANCE WITH CURRENT CITY ORDINANCE. COLOR OF PRE-FINISHED NUMBERS TO CONTRAST SIGNIFICANTLY WITH BACKGROUND COLOR OF EXTERIOR WALL. THAT ADDRESS MUST BE PERMANENTLY FASTENED TO THE EXTERIOR OF THE BUILDING PRIOR TO OCCUPANCY.
- F. SEE CIVIL SHEETS FOR LOCATION OF GAS METER ALONG EXTERIOR WALL.
- G. EXTERIOR SIGNAGE: THE OWNER IS RESPONSIBLE TO OBTAIN A SEPARATE PERMIT FOR ANY EXTERIOR SIGNS IN ACCORDANCE WITH CURRENT CITY SIGN ORDINANCE. THE OWNER IS RESPONSIBLE TO CONTRACT DIRECTLY WITH SIGN VENDORS. SIGN VENDORS SHALL INSTALL THEIR RESPECTIVE SIGNAGE. THE CONTRACTOR IS RESPONSIBLE TO PROVIDE AND COORDINATE ALL BACKING AND POWER REQUIREMENTS FOR EACH SIGN.
- H. NOT ALL SHEET NOTES ARE NECESSARILY USED ON EACH SHEET.

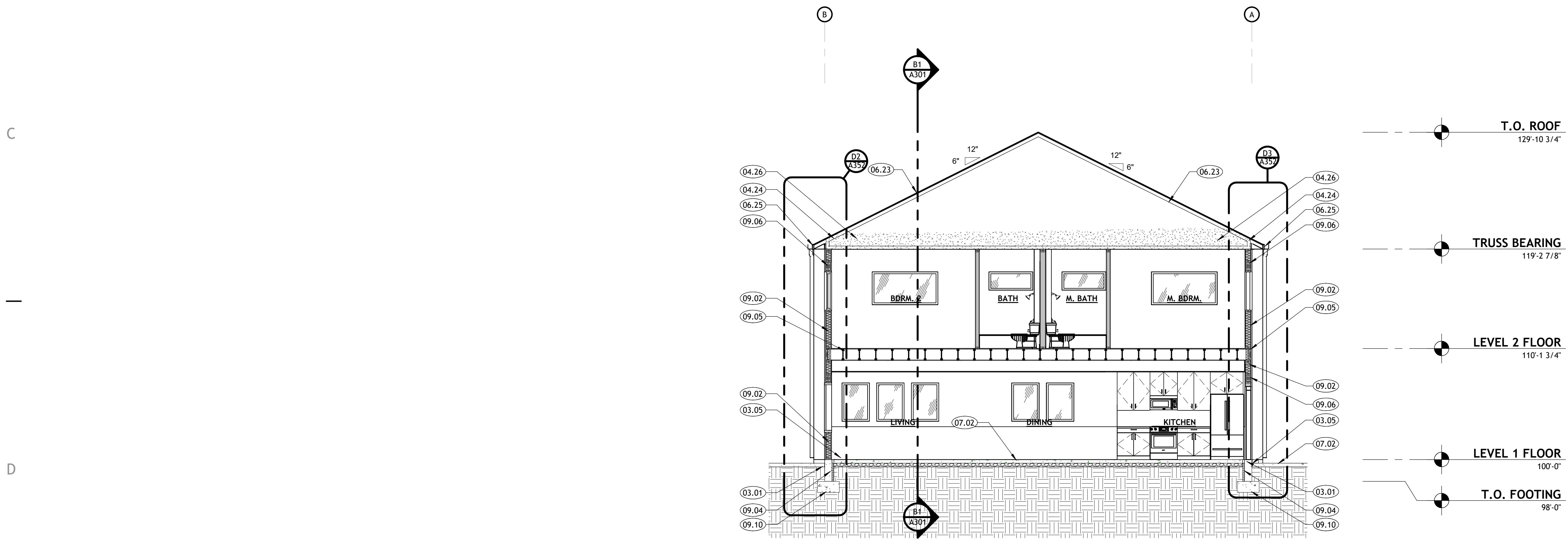
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**KEYNOTES**

- 02.06 PAINTED STEEL 42" HIGH GUARDRAIL. SEE DETAILS ON SHEET A502.
- 03.01 CONCRETE FOUNDATION WALL. SEE STRUCTURAL.
- 03.05 CONCRETE SLAB OVER 4" OVER 10 MIL VAPOR RETARDER OVER FREE DRAINING GRAVEL. SEE STRUCTURAL FOR SLAB THICKNESS AND REINFORCING.
- 04.24 STRUCTURAL WOOD ROOF TRUSS.
- 04.26 ATTIC TO BE INSULATED THROUGHOUT WITH R-49 BLOWN-IN INSULATION. PROVIDE BAFFLES AT EAVE LINE AS REQUIRED.
- 06.18 HATCHED AREA INDICATES FIRE RETARDANT TREATED PLYWOOD ROOF SHEATHING MINIMUM 4'-0" MEASURED PERPENDICULAR FROM UNIT SEPARATION WALLS. SEE DETAILS ON SHEET A501.
- 06.23 ARCHITECTURAL ASPHALT SHINGLES OVER 30# FELT. PROVIDE WITH ICE AND WATER SHIELD OVER PLYWOOD ROOF SHEATHING AT EAVE AND VALLEYS. SEE STRUCTURAL. INSTALL PER MANUFACTURER'S RECOMMENDATIONS.
- 06.25 RAIN GUTTER WITH 1/8" 1'-0" MIN. SLOPE
- 07.02 FINISHED GRADE LINE. 8" MINIMUM BELOW TOP OF CONCRETE FOUNDATION WALL. SLOPE FINISHED GRADE AWAY FROM THE BUILDING 6 INCHES IN THE FIRST 10 FEET.
- 09.02 R-20 BATT INSULATION WITH 6 MIL VAPOR RETARDER TO WARM SIDE. TYPICAL AT ALL EXTERIOR WALLS. SEE WALL TYPES.
- 09.04 2" RIGID INSULATION WITH 1/8" THICK FOAM STRIPPING AT EDGE OF CONCRETE FLOOR SLAB.
- 09.05 PLYWOOD SHEATHING GLUED AND NAILED OVER FLOOR JOIST. SEE FRAMING PLANS FOR SIZE AND SPACING.
- 09.06 WOOD BEAM OR HEADER. SEE FRAMING PLANS.
- 09.08 INTERIOR SPOT FOOTINGS. SEE STRUCTURAL.
- 09.10 CONCRETE FOOTING. FOOTINGS TO REST ON NATIVE SOILS OR ENGINEERED FILL AS DETAILED BY THE GEOTECHNICAL STUDY. SEE STRUCTURAL.



**B1** BUILDING SECTION 1  
A301 | SCALE: 3/16" = 1'-0"



**D3** BUILDING SECTION 2  
A301 | SCALE: 3/16" = 1'-0"

PROJECT TITLE AND ADDRESS  
**EUCLID TOWNHOMES**

922 EUCLID AVENUE, SALT LAKE CITY, UT 84104

REVISIONS

DESCRIPTION	DATE

PROJECT INFORMATION

DATE:	15 MARCH 2024
PROJECT #:	23-129
PM / PA:	AS
PIC:	MA

DRAWING SET STATUS  
**CONSTRUCTION DOCUMENTS**

THIS DRAWING SET IS INTENDED TO BE PRINTED IN COLOR

SHEET TITLE

**BUILDING SECTIONS**

SHEET NUMBER  
**A301**

**SEPARATION LEGEND**

- TWO HOUR RATED ASSEMBLY. ASSEMBLY TO EXTEND TO ROOF DECK IN ALL CASES, INCLUDING ROOF OVERBUILDS.

**GENERAL NOTES**

- A. GENERAL CONTRACTOR SHALL VERIFY ALL CONDITIONS, DIMENSIONS, AND ASSEMBLIES PRIOR TO CONSTRUCTION. REPORT ANY SIGNIFICANT DISCREPANCIES TO THE ARCHITECT.
- B. CONCRETE FOUNDATION WALLS RETAINING EARTH TO RECEIVE TWO COATS OF BITUMINOUS DAMP PROOFING MATERIAL.
- C. MINIMUM ROOF CLASSIFICATION TO BE AS NOTED ON THE CODE ANALYSIS.
- D. MINIMUM ROOF SLOPE TO BE 1/4" PER FOOT.
- E. EXPOSED FOUNDATION WALLS TO RECEIVE RUBBED FINISH.
- F. SEE ENGINEERING SHEETS FOR ADDITIONAL INFORMATION.
- G. MASONRY TO HAVE CONTROL JOINTS AT 30'-0" O.C. MAXIMUM.
- H. NOT ALL INTERIOR ELEMENTS ARE NOTED FOR CLARITY. SEE WALL SECTIONS, DETAILS, AND WALL TYPES FOR ADDITIONAL INFORMATION.

REVISIONS	
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DATE:	15 MARCH 2024
PROJECT #:	23-129
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PIC:	MA

DRAWING SET STATUS  
**CONSTRUCTION DOCUMENTS**

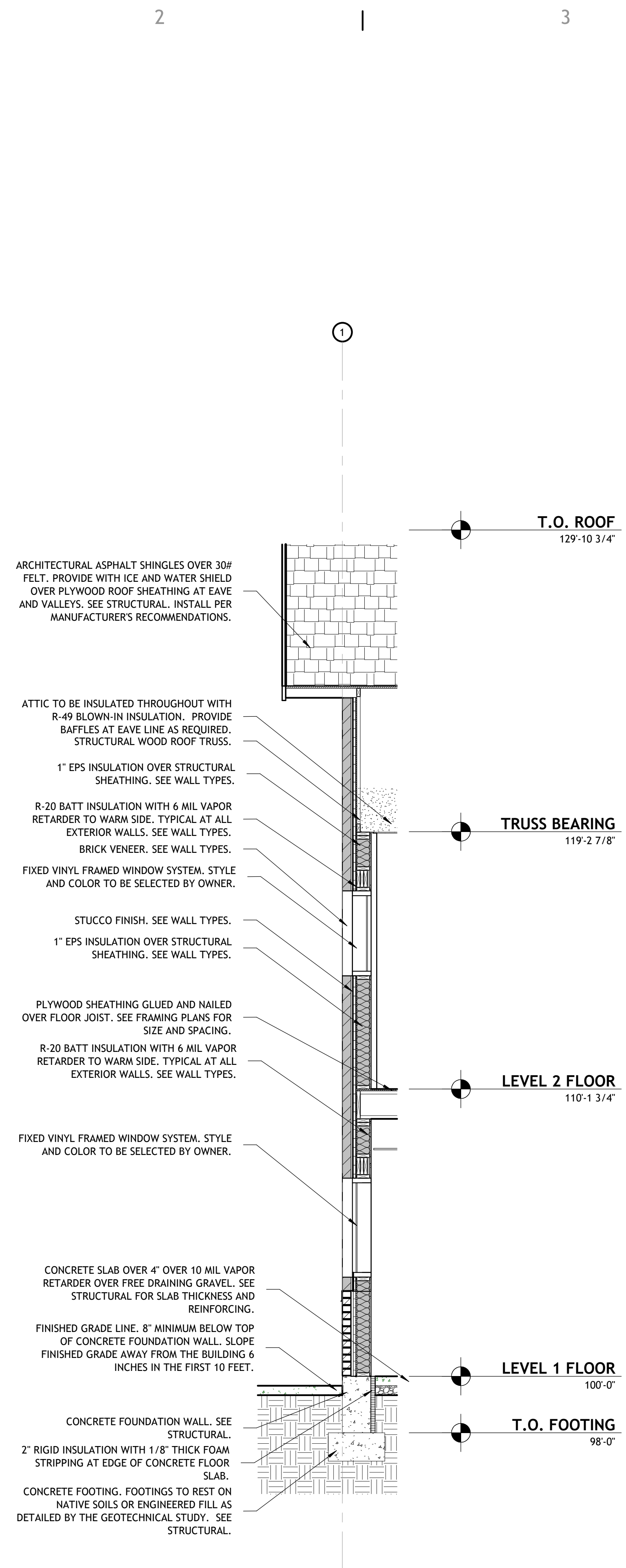
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SHEET TITLE

**WALL SECTIONS**

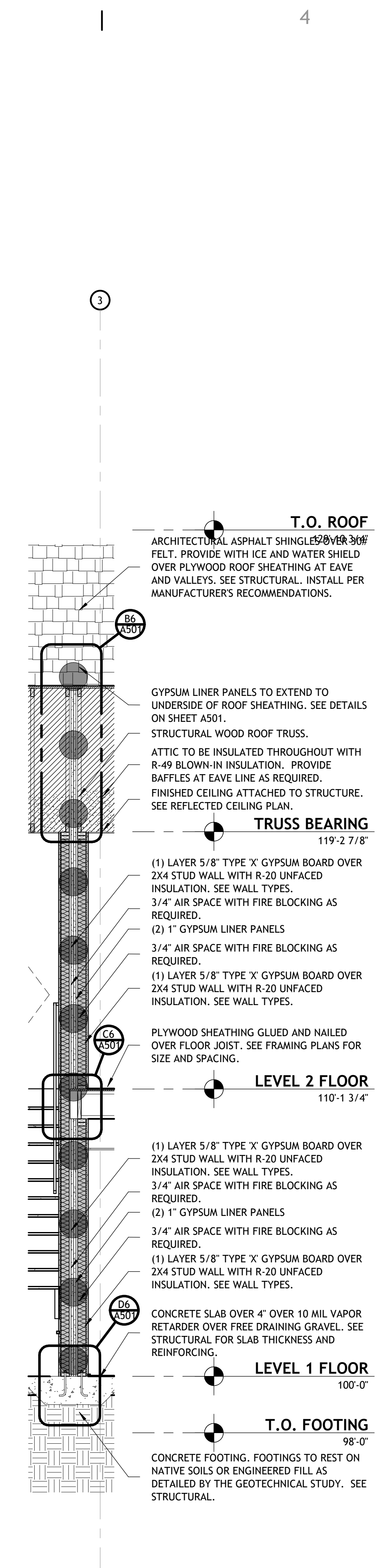
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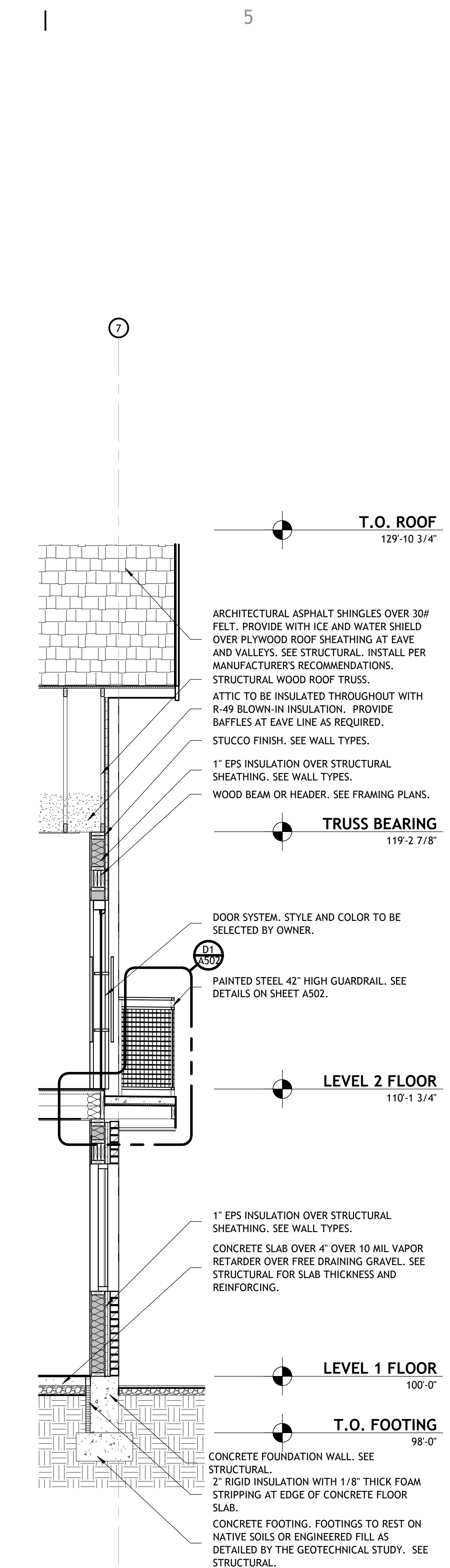
**D2** WALL SECTION

A351 | SCALE: 3/8" = 1'-0"



**D4** WALL SECTION

A351 | SCALE: 3/8" = 1'-0"



**D5** WALL SECTION

A351 | SCALE: 3/8" = 1'-0"

**SEPARATION LEGEND**

- TWO HOUR RATED ASSEMBLY. ASSEMBLY TO EXTEND TO ROOF DECK IN ALL CASES, INCLUDING ROOF OVERBUILDS.

**GENERAL NOTES**

- A. GENERAL CONTRACTOR SHALL VERIFY ALL CONDITIONS, DIMENSIONS, AND ASSEMBLIES PRIOR TO CONSTRUCTION. REPORT ANY SIGNIFICANT DISCREPANCIES TO THE ARCHITECT.
- B. CONCRETE FOUNDATION WALLS RETAINING EARTH TO RECEIVE TWO COATS OF BITUMINOUS DAMP PROOFING MATERIAL.
- C. MINIMUM ROOF CLASSIFICATION TO BE AS NOTED ON THE CODE ANALYSIS.
- D. MINIMUM ROOF SLOPE TO BE 1/4" PER FOOT.
- E. EXPOSED FOUNDATION WALLS TO RECEIVE RUBBED FINISH.
- F. SEE ENGINEERING SHEETS FOR ADDITIONAL INFORMATION.
- G. MASONRY TO HAVE CONTROL JOINTS AT 30'-0" O.C. MAXIMUM.
- H. NOT ALL INTERIOR ELEMENTS ARE NOTED FOR CLARITY. SEE WALL SECTIONS, DETAILS, AND WALL TYPES FOR ADDITIONAL INFORMATION.

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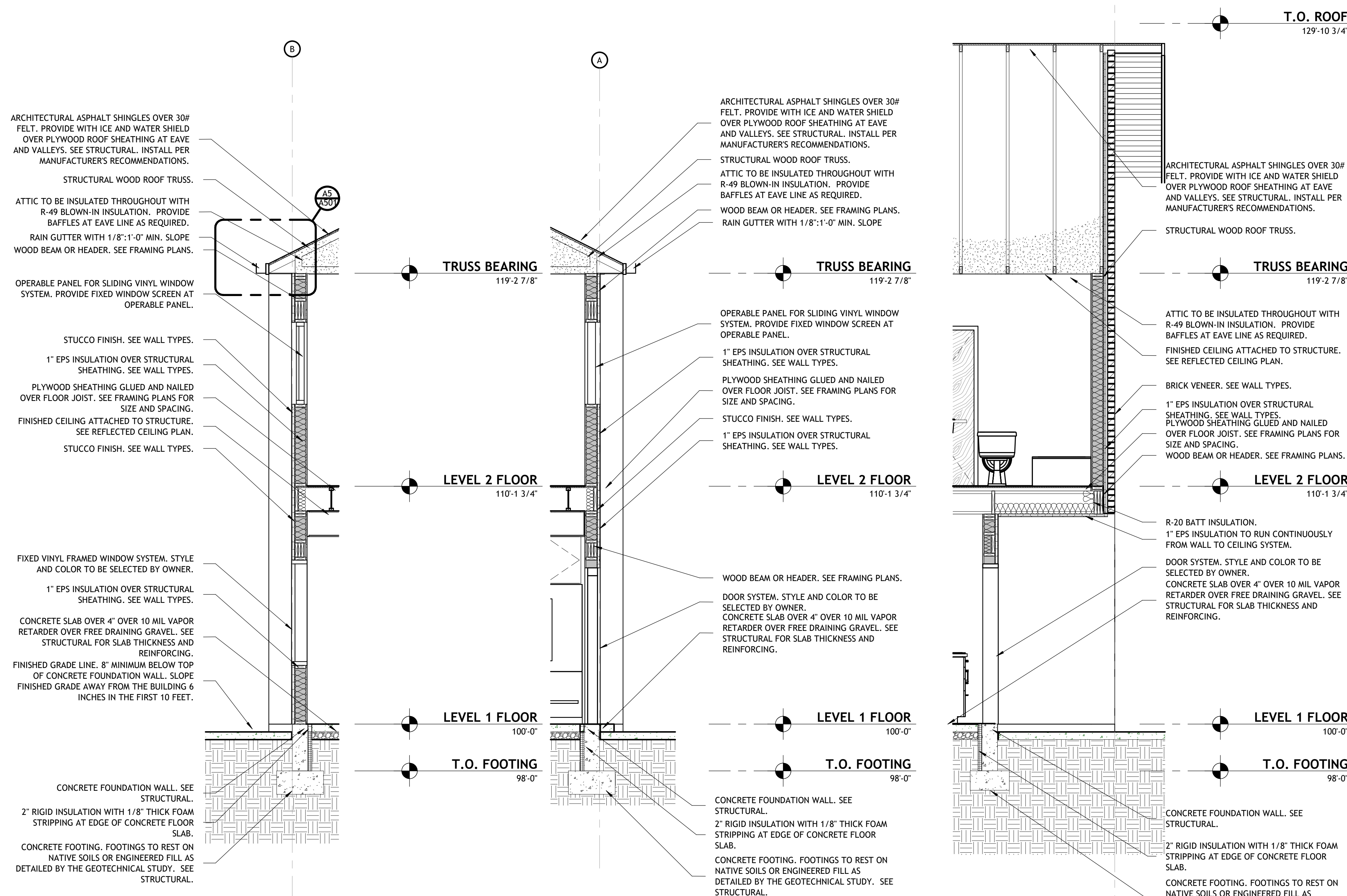
6

A

B

C

D



**SEPARATION LEGEND**

- TWO HOUR RATED ASSEMBLY. ASSEMBLY TO EXTEND TO ROOF DECK IN ALL CASES, INCLUDING ROOF OVERBUILDS.

**GENERAL NOTES**

- GENERAL CONTRACTOR SHALL VERIFY ALL CONDITIONS, DIMENSIONS, AND ASSEMBLIES PRIOR TO CONSTRUCTION. REPORT ANY SIGNIFICANT DISCREPANCIES TO THE ARCHITECT.
- CONCRETE FOUNDATION WALLS RETAINING EARTH TO RECEIVE TWO COATS OF BITUMINOUS DAMP PROOFING MATERIAL.
- MINIMUM ROOF CLASSIFICATION TO BE AS NOTED ON THE CODE ANALYSIS.
- MINIMUM ROOF SLOPE TO BE 1/4" PER FOOT.
- EXPOSED FOUNDATION WALLS TO RECEIVE RUBBED FINISH. SEE ENGINEERING SHEETS FOR ADDITIONAL INFORMATION.
- MASONRY TO HAVE CONTROL JOINTS AT 30'-0" O.C. MAXIMUM.
- NOT ALL INTERIOR ELEMENTS ARE NOTED FOR CLARITY. SEE WALL SECTIONS, DETAILS, AND WALL TYPES FOR ADDITIONAL INFORMATION.

PROJECT TITLE AND ADDRESS  
**EUCLID TOWNHOMES**

922 EUCLID AVENUE, SALT LAKE CITY, UT 84104

REVISIONS	
DESCRIPTION	DATE

**PROJECT INFORMATION**

DATE: 15 MARCH 2024  
PROJECT #: 23-129  
PM / PA: AS  
PIC: MA

DRAWING SET STATUS  
**CONSTRUCTION DOCUMENTS**

THIS DRAWING SET IS INTENDED TO BE PRINTED IN COLOR

SHEET TITLE

**WALL SECTIONS**

SHEET NUMBER

**A352**

**D2** WALL SECTION  
A352 | SCALE: 3/8" = 1'-0"

**D3** WALL SECTION  
A352 | SCALE: 3/8" = 1'-0"

**D5** WALL SECTION  
A352 | SCALE: 3/8" = 1'-0"

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**KEYNOTES**

- 04.11 CLOTHES HANGER ROD WITH PAINTED WOOD SHELF ABOVE
- 04.40 PREFINISHED WOOD HANDRAIL 36" ABOVE FINISHED FLOOR OR NOSE OF STAIRS. SEE TYPICAL DETAILS ON SHEET A452
- 04.43 TWO PIECE ELONGATED, CHAIR HEIGHT TOILET W/ PLASTIC LID
- 07.07 PRE-FINISHED SIMULATED WOOD PRIVACY FENCE.
- 07.08 PRE-FINISHED SIMULATED WOOD MECHANICAL SCREEN WITH VERTICAL PAINTED STEEL POSTS.
- 10.07 FURNITURE. OWNER FURNISHED, OWNER INSTALLED.
- 10.20 30" ELECTRIC SLIDE IN RANGE
- 10.26 36" COUNTER DEPTH 3-DOOR REFRIGERATOR
- 10.32 24" BAR HANDLE DISHWASHER
- 10.34 PULL-DOWN SINGLE-HANDLE KITCHEN FAUCET
- 10.35 TWO HANDLE LAVATORY FAUCET W/ UNDERMOUNT LAVATORY
- 10.38 18" DEEP CLOSET SHELVING WITH PAINTED WOOD SHELVES

UNIT FINISH LEGEND		SEE INTERIOR FINISH ELEVATIONS FOR EXTENT OF FINISHES	
CODE	MATERIAL	FLOOR	BASE
F1	BROADLOOM CARPET OVER FIRM PAD	MILLWRK	CEILING
F2	LUXURY VINYL PLANK	WALL	DOOR
B1	4 1/2" PAINTED MDF BASE: SHERWIN WILLIAMS, TBD	M1	CABINET FINISH: COLOR: TBD CABINET PULL: FINISH: TBD COUNTERTOP FINISH: QUARTZ SELECT, TBD
W1	PAINTED GYPSUM BOARD: SMOOTH TEXTURE SHERWIN WILLIAMS, TBD	M2	PAINTED MDF: SHERWIN WILLIAMS, TBD
W2	PORCELAIN TILE	CL1	PAINTED GYPSUM BOARD: SMOOTH TEXTURE SHERWIN WILLIAMS, TBD
		D1	SHERWIN WILLIAMS, TBD

PROJECT TITLE AND ADDRESS  
**EUCLID TOWNHOMES**

922 EUCLID AVENUE, SALT LAKE CITY, UT 84104

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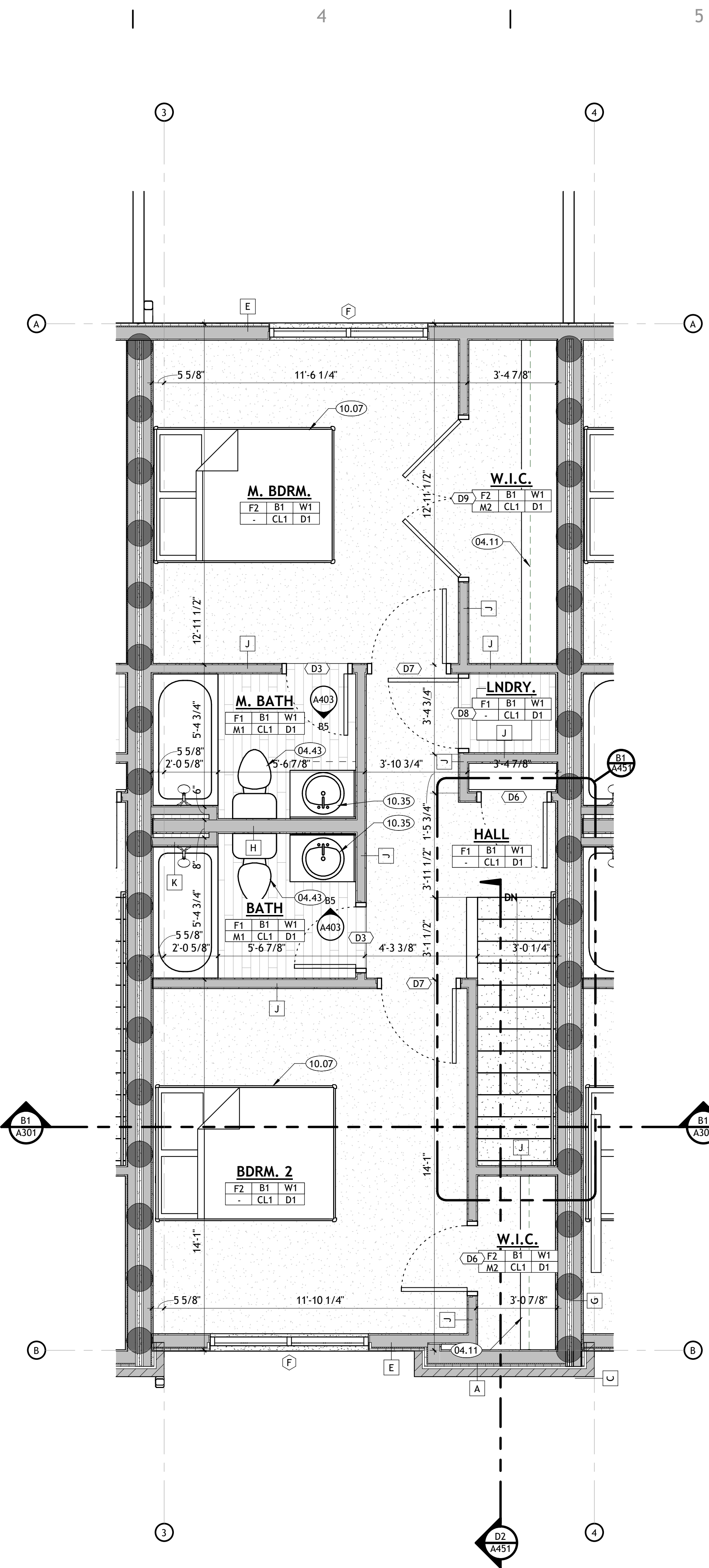
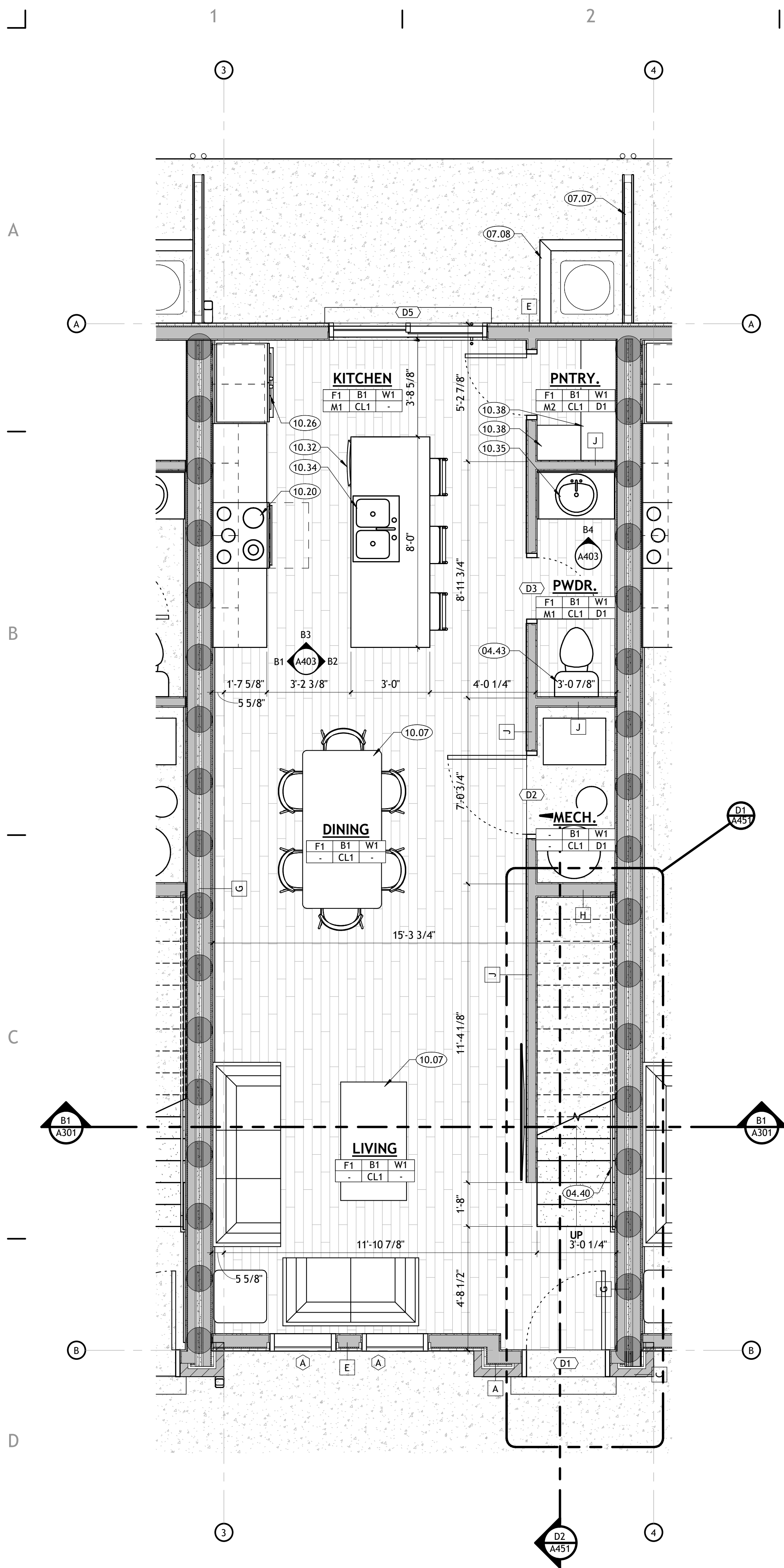
DRAWING SET STATUS  
**CONSTRUCTION DOCUMENTS**

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SHEET TITLE

**ENLARGED UNIT PLANS**

SHEET NUMBER  
**A401**



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**KEYNOTES**

- 02.06 PAINTED STEEL 42" HIGH GUARDRAIL. SEE DETAILS ON SHEET A502.
- 04.11 CLOTHES HANGER ROD WITH PAINTED WOOD SHELF ABOVE PREFINISHED WOOD HANDRAIL 36" ABOVE FINISHED FLOOR OR NOSE OF STAIRS. SEE TYPICAL DETAILS ON SHEET A452
- 04.40 PRE-FINISHED SIMULATED WOOD MECHANICAL SCREEN WITH VERTICAL PAINTED STEEL POSTS.
- 04.43 TWO PIECE ELONGATED, CHAIR HEIGHT TOILET W/ PLASTIC LID
- 07.07 PRE-FINISHED SIMULATED WOOD PRIVACY FENCE.
- 07.08 PRE-FINISHED SIMULATED WOOD MECHANICAL SCREEN WITH VERTICAL PAINTED STEEL POSTS.
- 10.07 FURNITURE. OWNER FURNISHED, OWNER INSTALLED.
- 10.20 30" ELECTRIC SLIDE IN RANGE
- 10.26 36" COUNTER DEPTH 3-DOOR REFRIGERATOR
- 10.30 STACKED CLOTHES WASHER AND DRYER
- 10.32 24" BAR HANDLE DISHWASHER
- 10.34 PULL-DOWN SINGLE-HANDLE KITCHEN FAUCET
- 10.35 TWO HANDLE LAVATORY FAUCET W/ UNDERMOUNT LAVATORY
- 10.38 18" DEEP CLOSET SHELVING WITH PAINTED WOOD SHELVES

UNIT FINISH LEGEND		FLOOR	BASE	WALL
SEE INTERIOR FINISH ELEVATIONS FOR EXTENT OF FINISHES		MILLWRK	CEILING	DOOR
CODE	MATERIAL	CODE	MATERIAL	
F1	BROADLOOM CARPET OVER FIRM PAD	M1	CABINET FINISH: COLOR: TBD CABINET PULL: FINISH: TBD COUNTERTOP FINISH: QUARTZ SELECT, TBD	
F2	LUXURY VINYL PLANK	M2	PAINTED MDF: SHERWIN WILLIAMS, TBD	
B1	4 1/2" PAINTED MDF BASE: SHERWIN WILLIAMS, TBD	CL1	PAINTED GYPSUM BOARD: SMOOTH TEXTURE SHERWIN WILLIAMS, TBD	
W1	PAINTED GYPSUM BOARD: SMOOTH TEXTURE SHERWIN WILLIAMS, TBD	D1	SHERWIN WILLIAMS, TBD	
W2	PORCELAIN TILE			

**GENERAL NOTES**

- A. GENERAL CONTRACTOR SHALL VERIFY ALL CONDITIONS AND DIMENSIONS PRIOR TO CONSTRUCTION. REPORT ANY SIGNIFICANT DISCREPANCIES TO THE ARCHITECT.
- B. COORDINATE INSTALLATIONS OF ALL "AFTER CONTRACT" ASSEMBLIES WITH OWNER PRIOR TO CONSTRUCTION OF ADJOINING OR RELATED STRUCTURES.
- C. PROVIDE 18" MINIMUM CLEAR FLOOR SPACE AT PULL SIDE OF ALL DOORS.
- D. PROVIDE 12" MINIMUM CLEAR FLOOR SPACE AT PUSH SIDE OF ALL DOORS.
- E. UNLESS OTHERWISE NOTED OR DIMENSIONED, LOCATE DOORS AS FOLLOWS: MASONRY WALLS- OUTSIDE OF FRAME 8" FROM FACE OF WALL (ON BLOCK MODULE), FRAMED WALLS- INSIDE OF JAMB 4" FROM FINISHED WALL (ADJUST FOR TILE WHERE SHOWN).
- F. SEE INTERIOR ELEVATIONS AND MILLWORK DETAILS ON A403 FOR FINISHES OF MILLWORK BASES, AND COUNTERTOPS.
- G. SEE SHEETS A151, AND A152 FOR REFLECTED CEILING PLAN INFORMATION.
- H. SEE A601 AND A602 FOR DOOR AND WINDOW INFORMATION.
- I. GENERAL CONTRACTOR SHALL REVIEW AND APPROVE ALL APPLIANCES WITH OWNER PRIOR TO PURCHASING EQUIPMENT AND FABRICATING MILLWORK.
- J. SEE G000 FOR LEGENDS, SYMBOLS, ABBREVIATIONS AND OTHER ARCHITECTURAL GENERAL INFORMATION.
- K. SEE G002 FOR WALL TYPES.
- L. PROVIDE BACKING/BLOCKING FOR WALL MOUNTED ITEMS-INCLUDING HANDRAILS, SIGNAGE, AND EQUIPMENT AS REQUIRED.
- M. RECESS SLAB AS/IF REQUIRED. VERIFY WITH OWNER.
- N. DO NOT SCALE DRAWINGS.

PROJECT TITLE AND ADDRESS  
**EUCLID TOWNHOMES**

922 EUCLID AVENUE, SALT LAKE CITY, UT 84104

REVISIONS	
DESCRIPTION	DATE

PROJECT INFORMATION	
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PIC:	MA

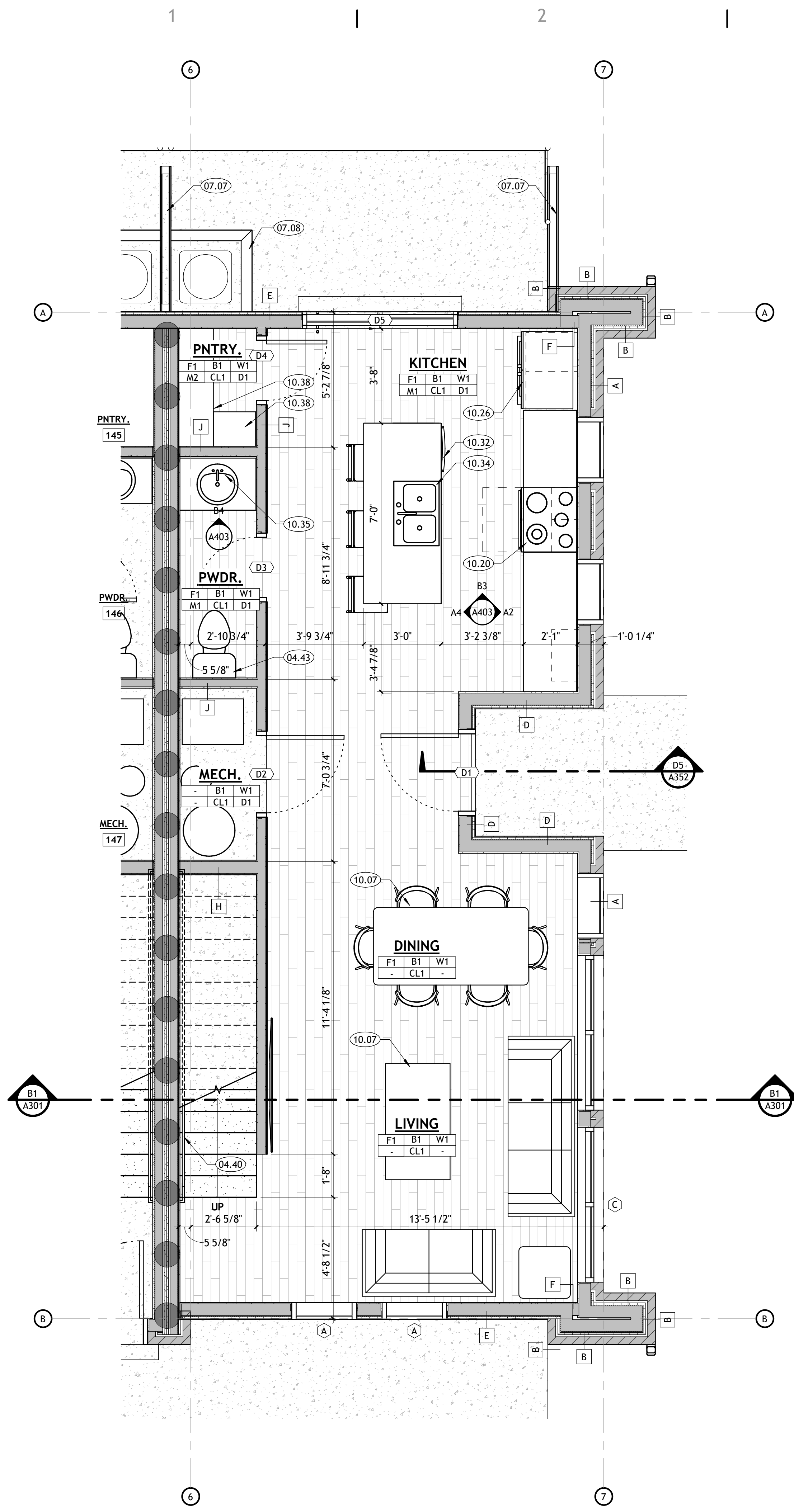
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**CONSTRUCTION DOCUMENTS**

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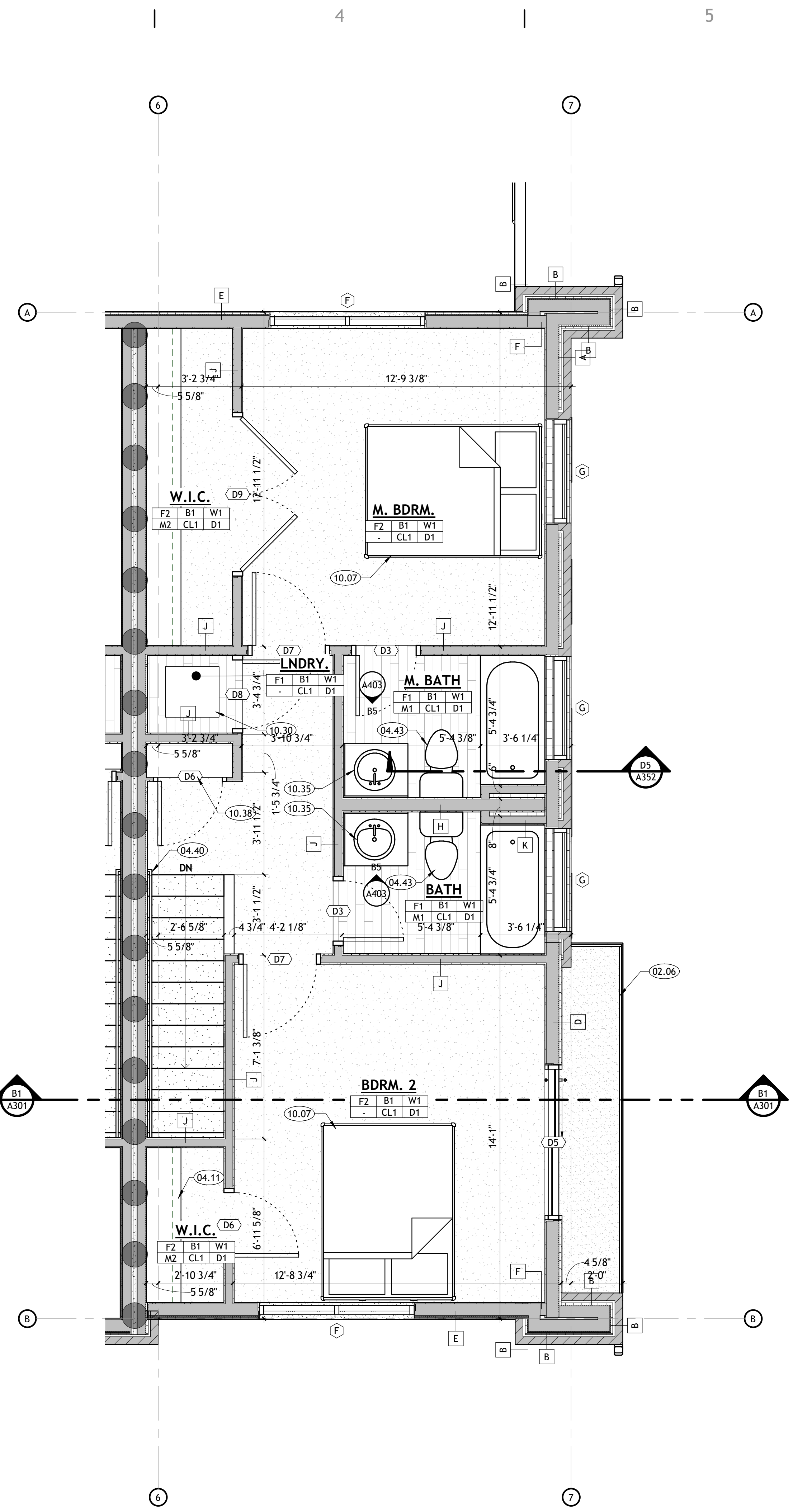
SHEET TITLE

**ENLARGED SIDE ENTRY UNIT PLANS**

SHEET NUMBER  
**A402**

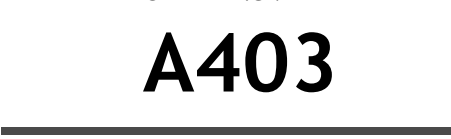
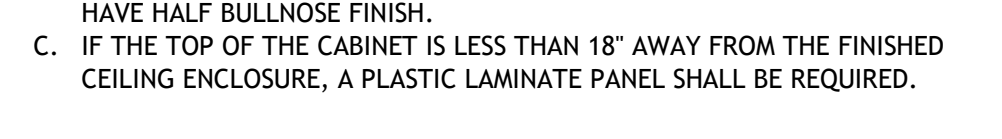
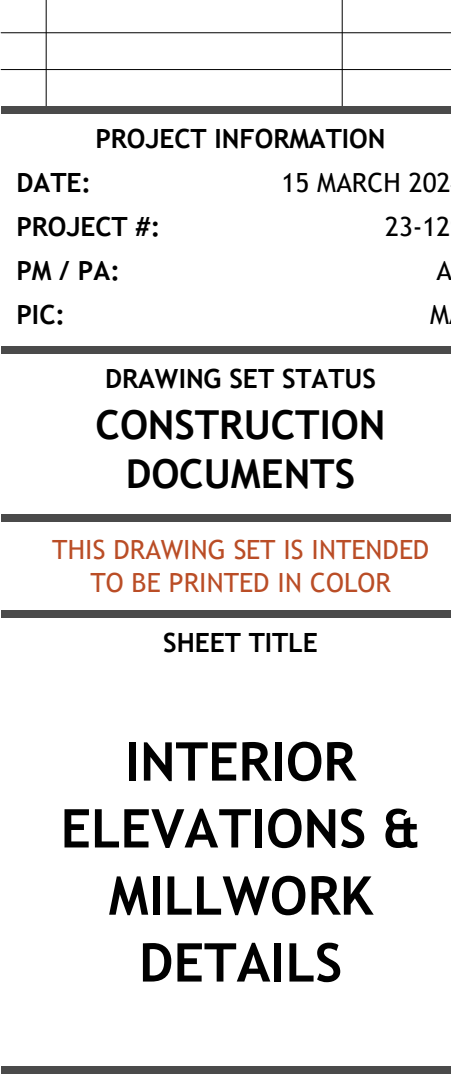
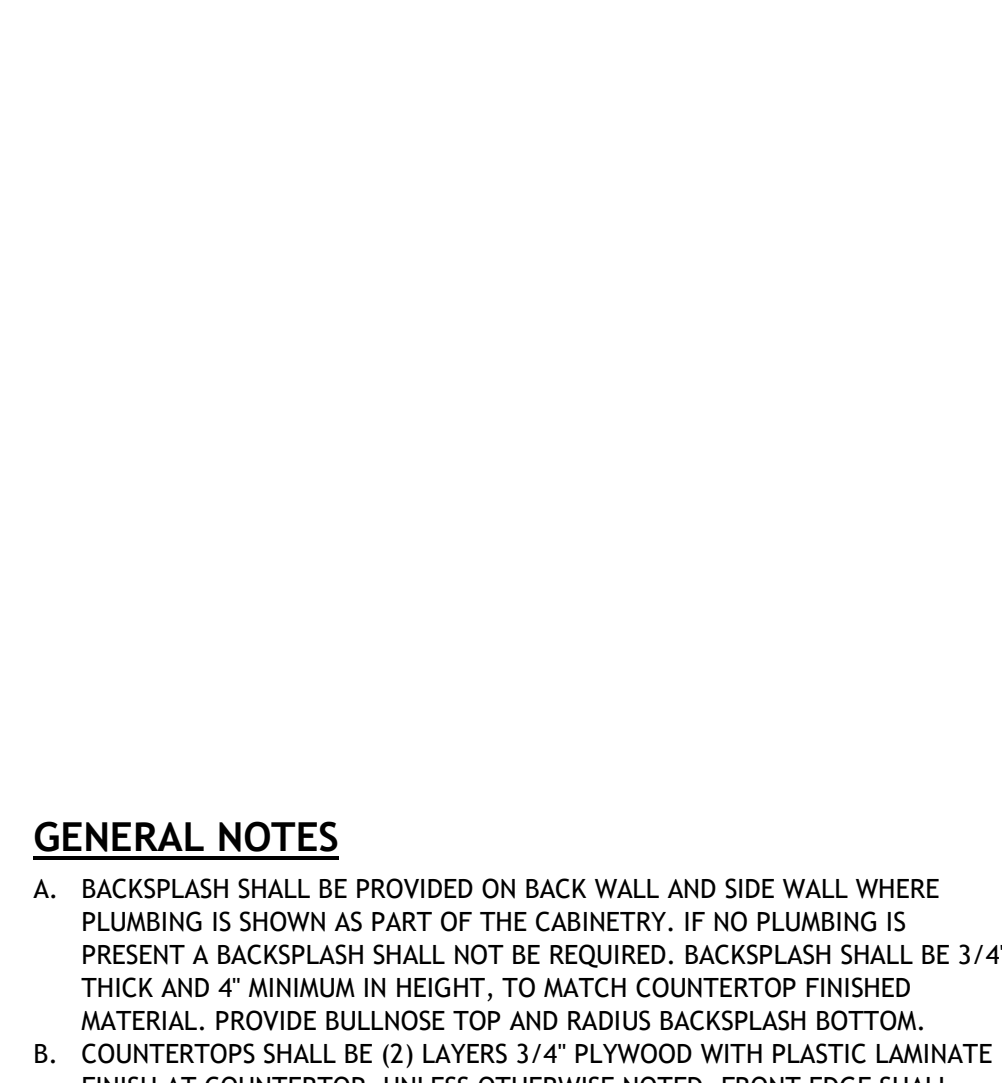
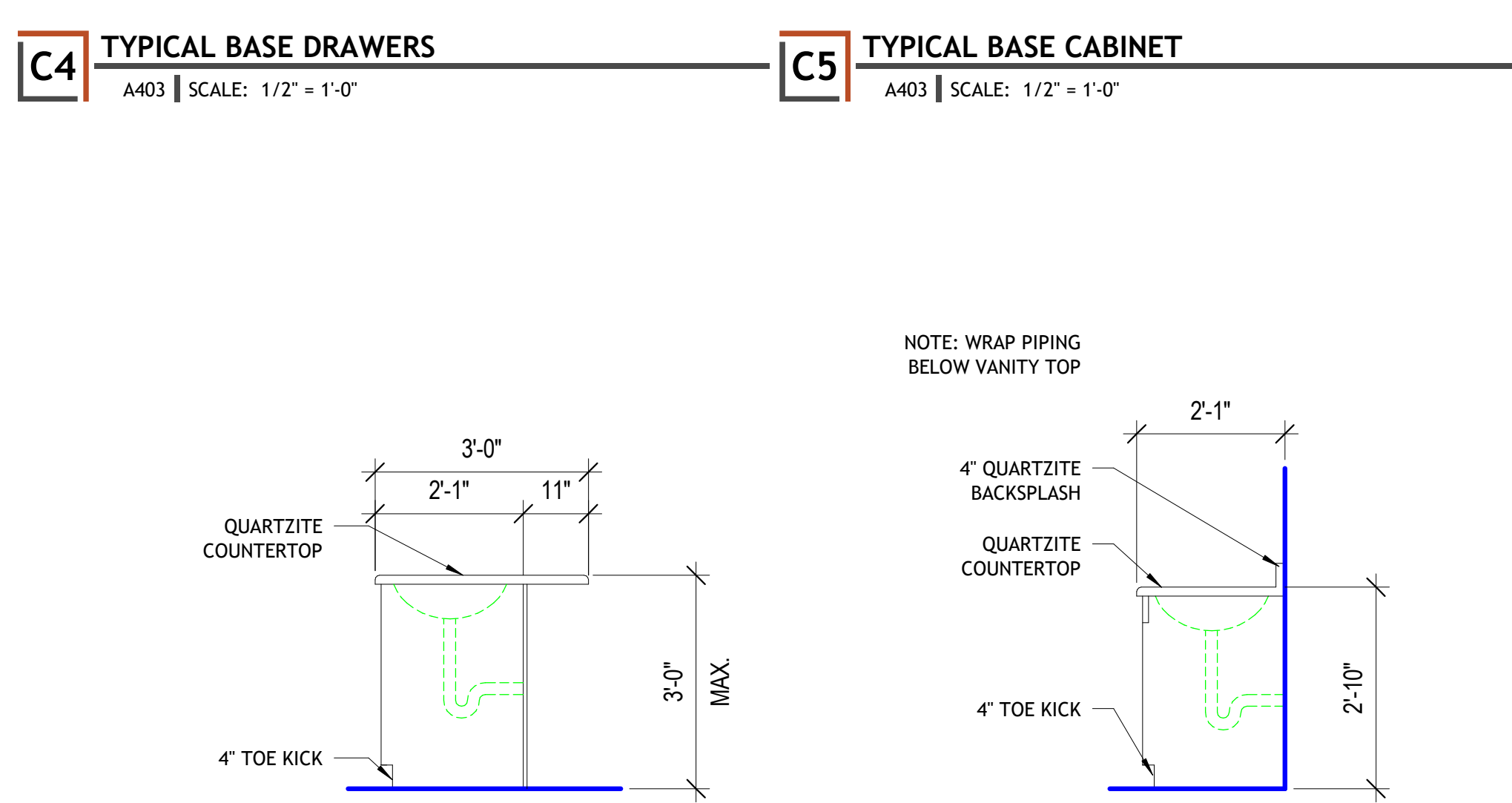
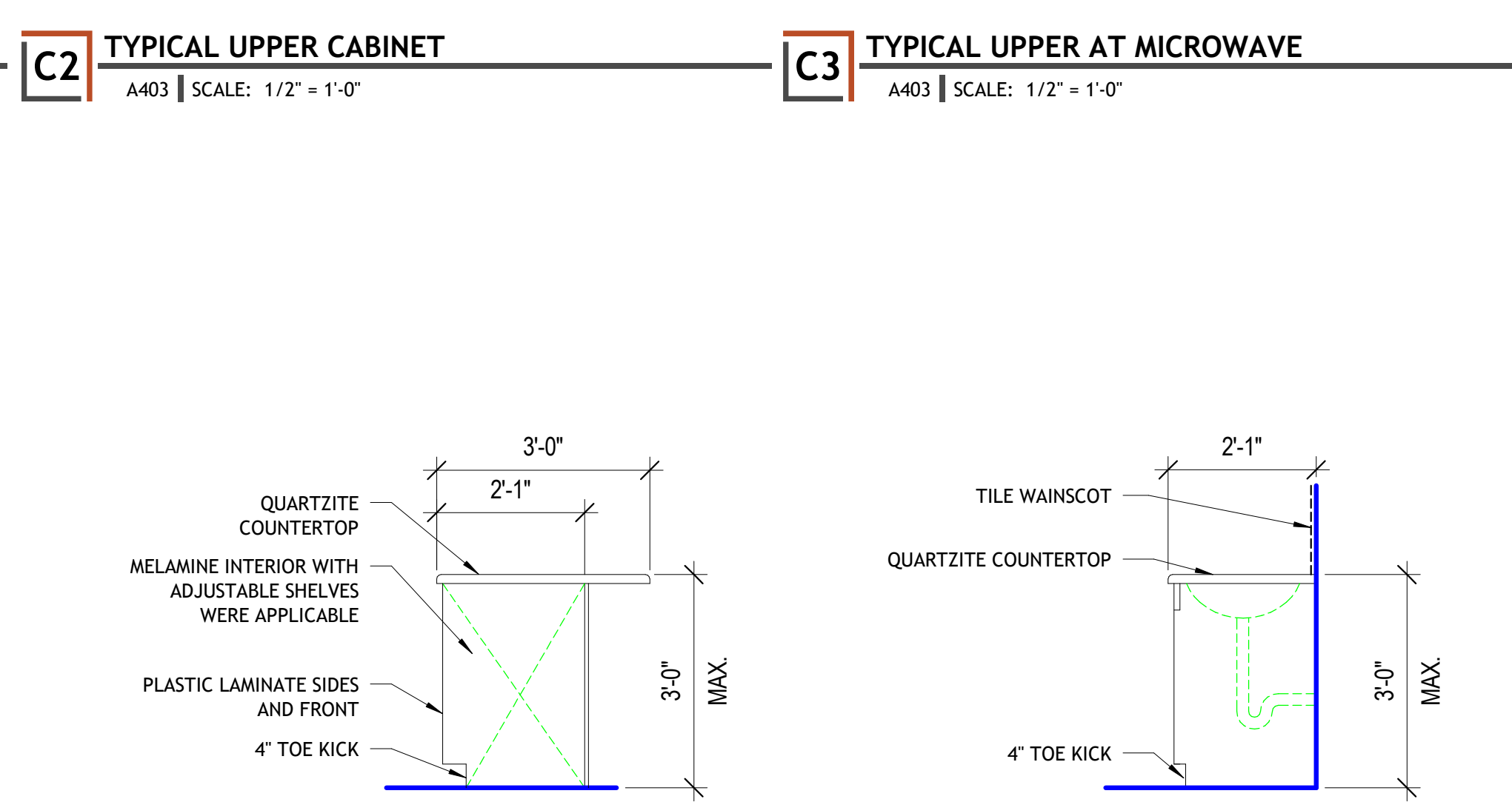
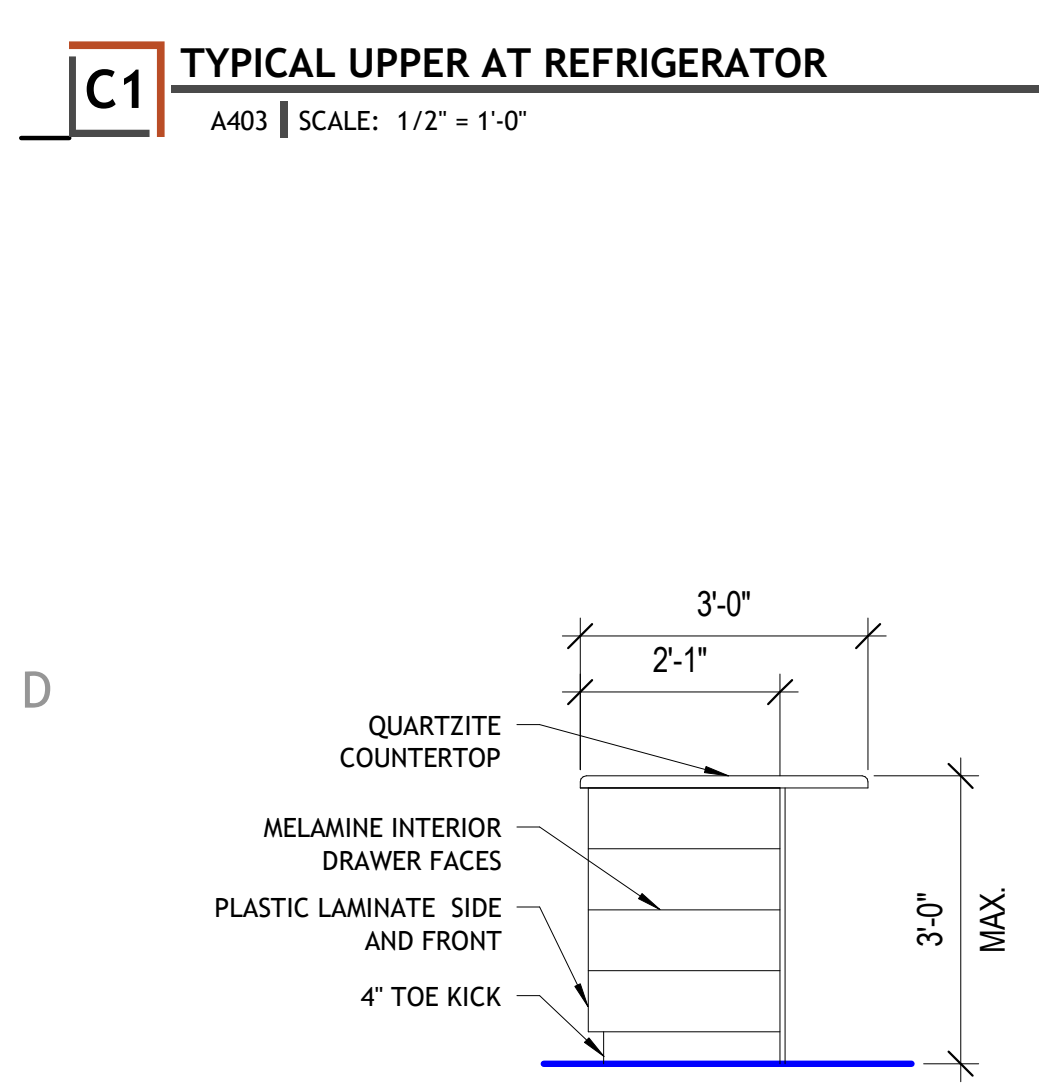
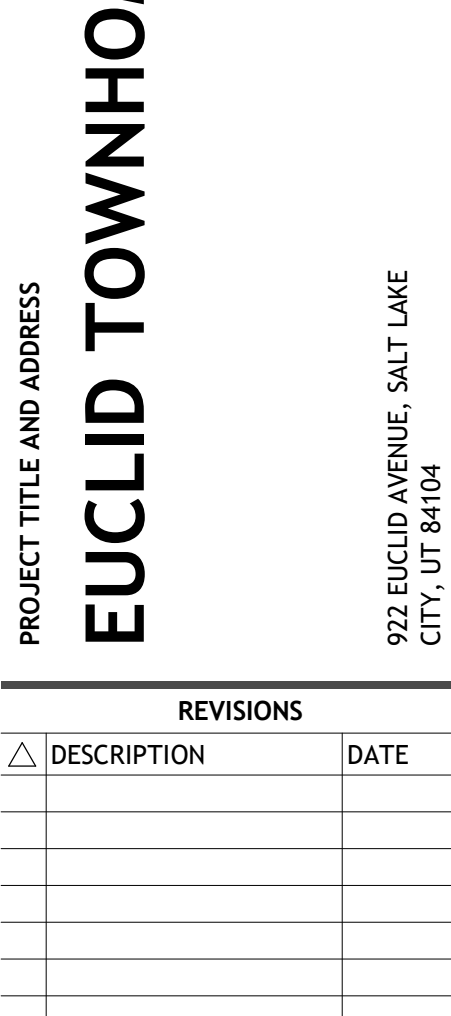
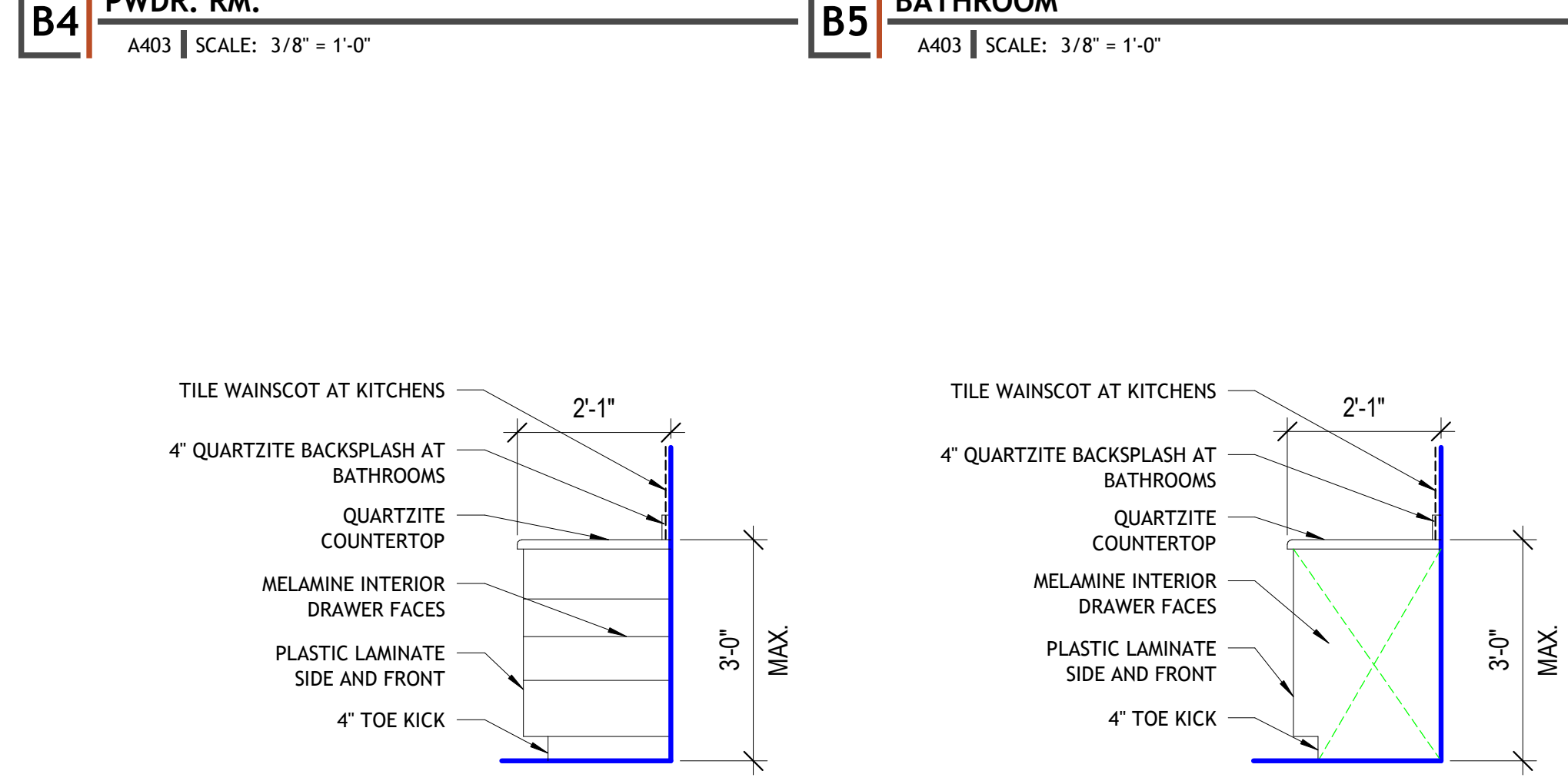
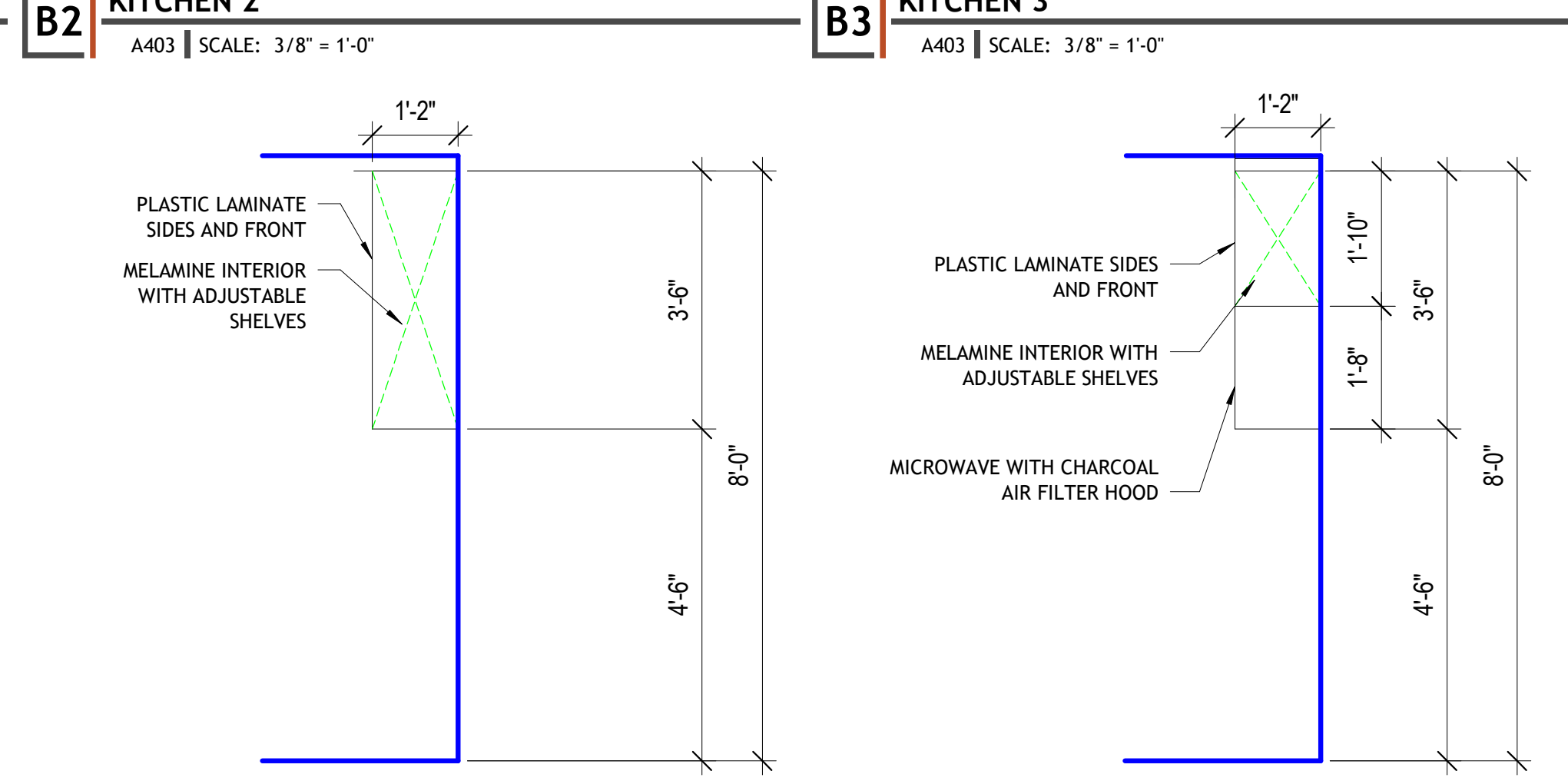
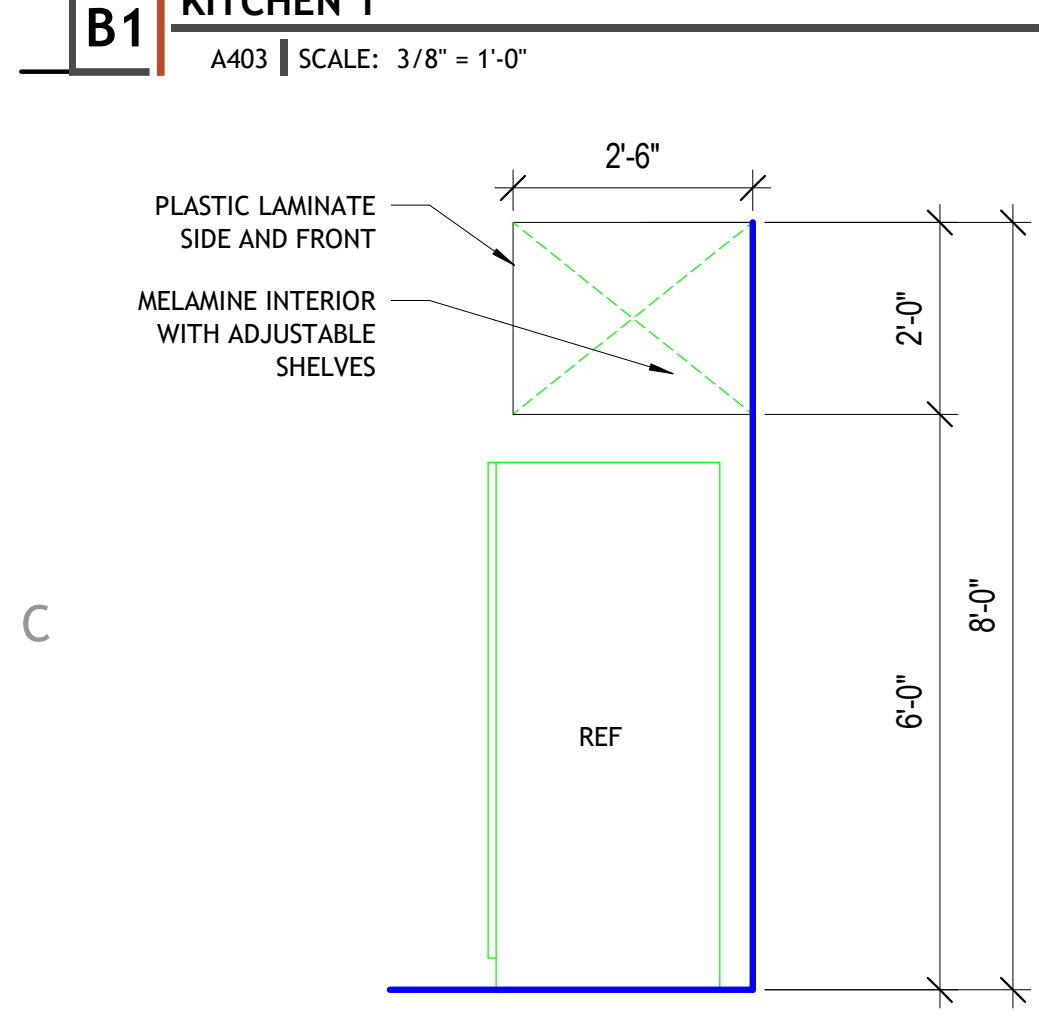
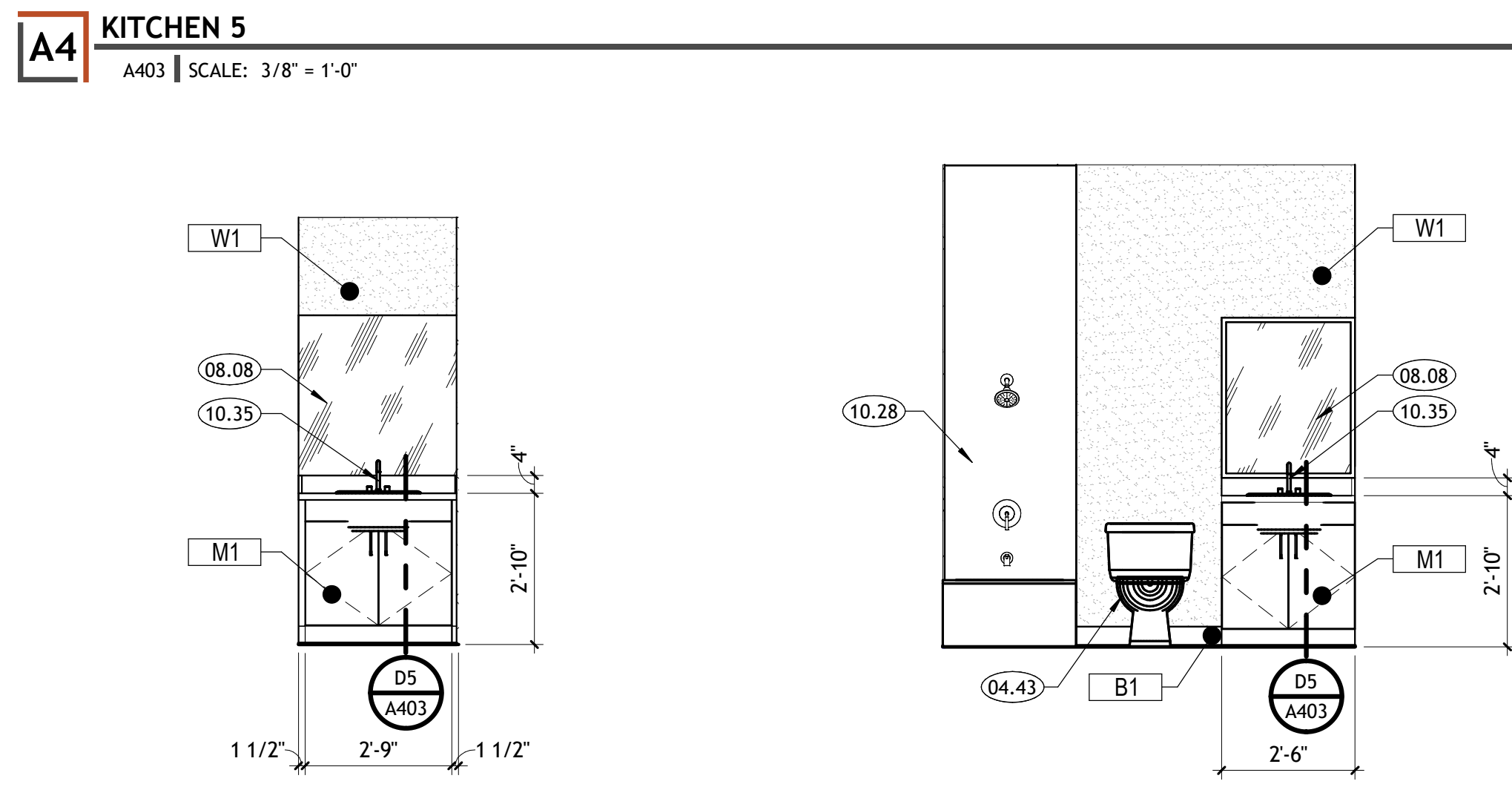
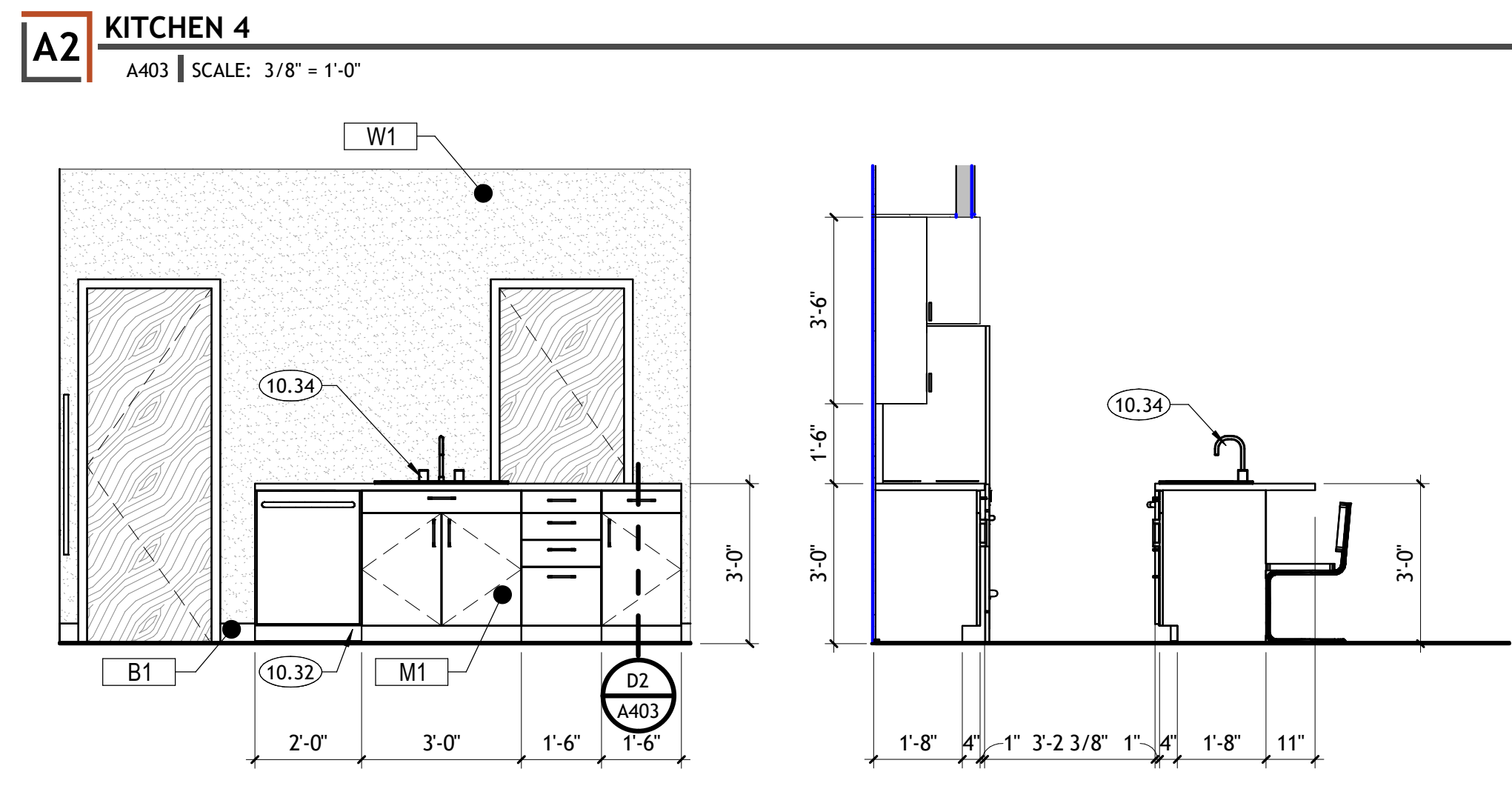
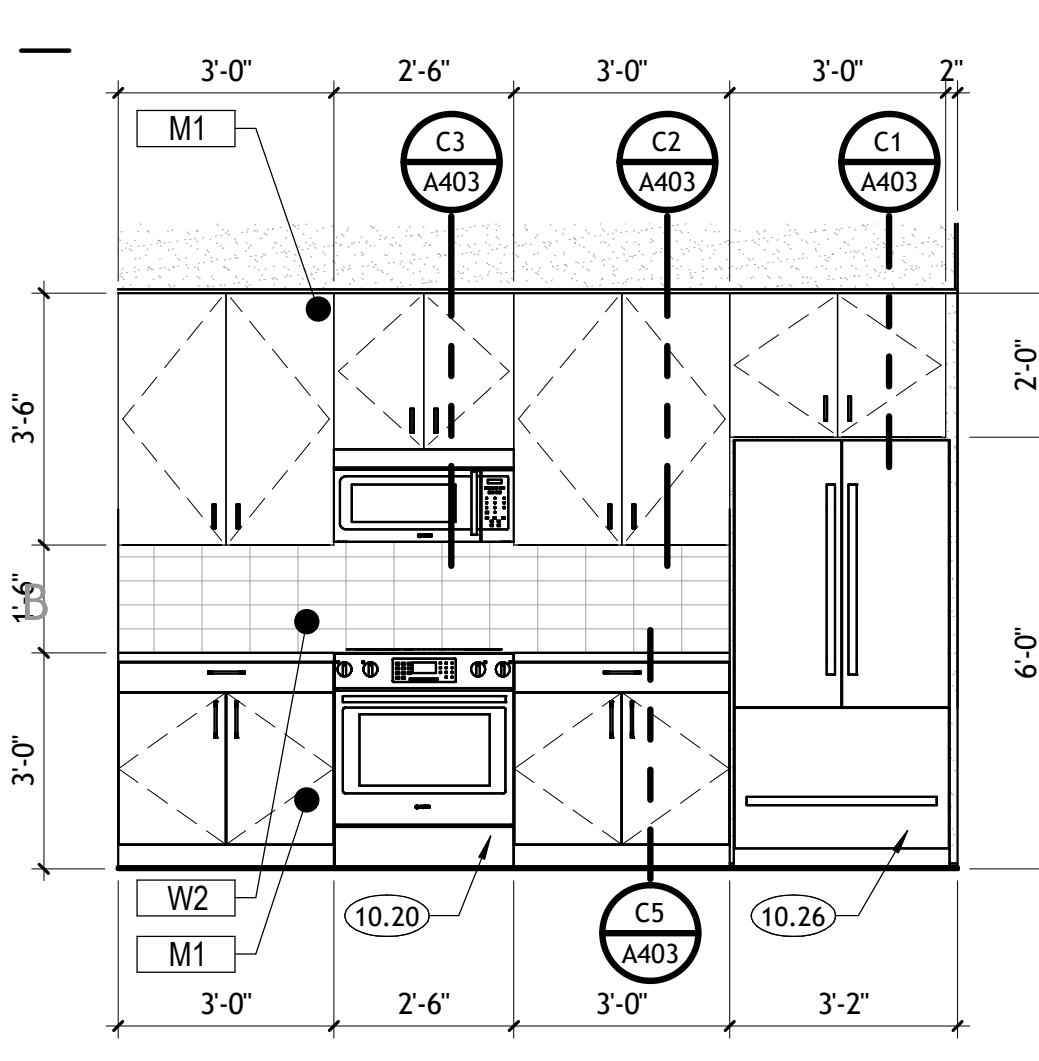
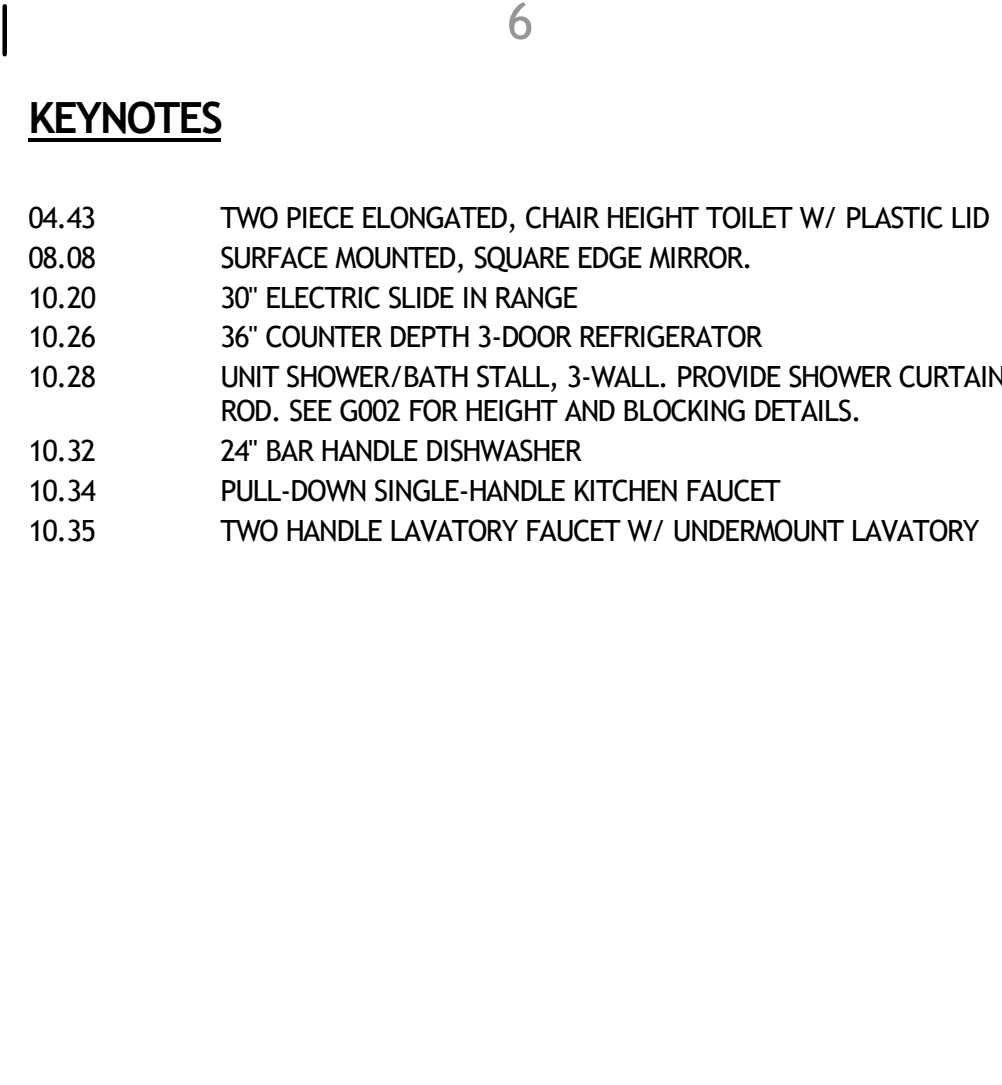
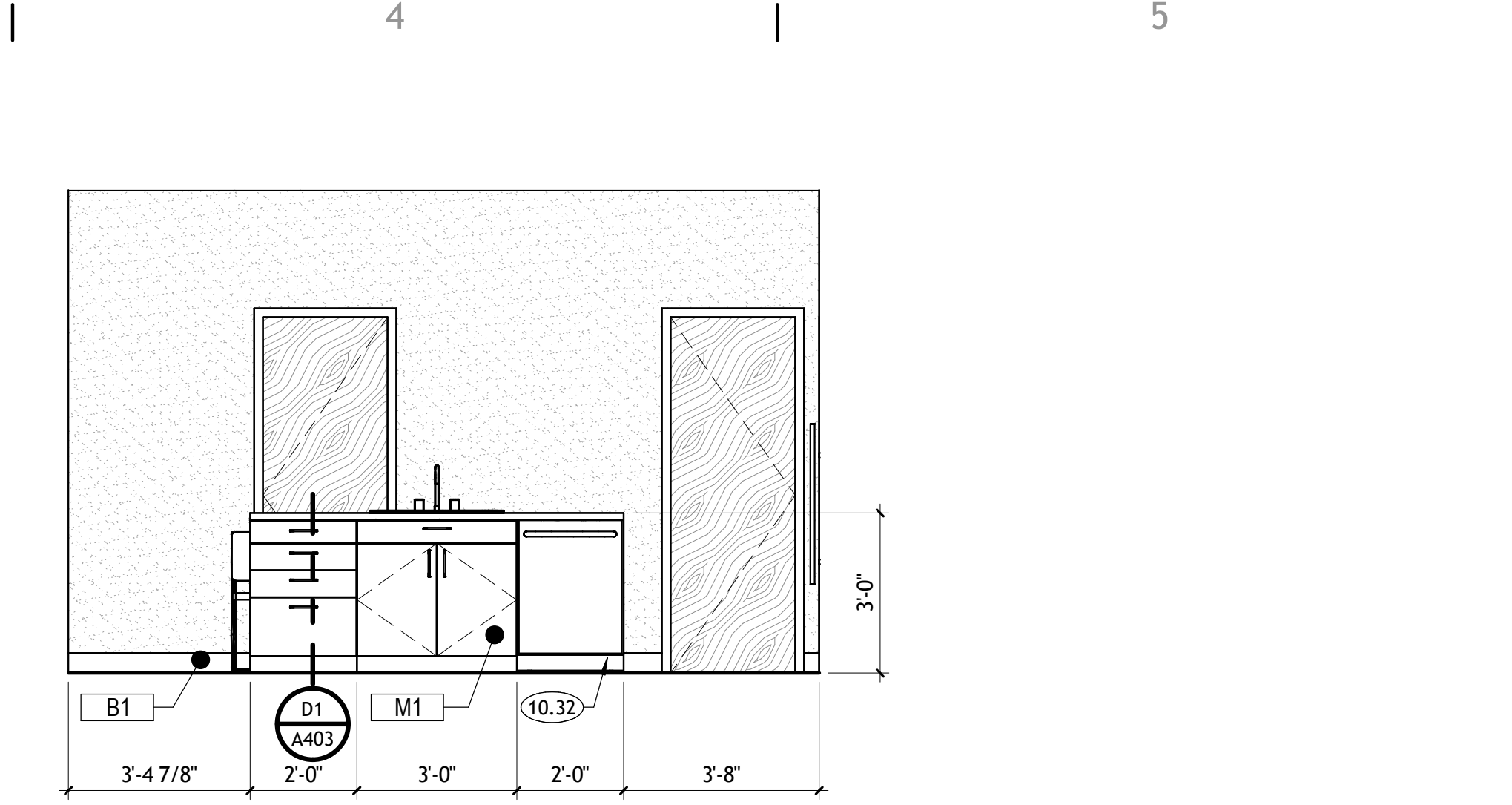
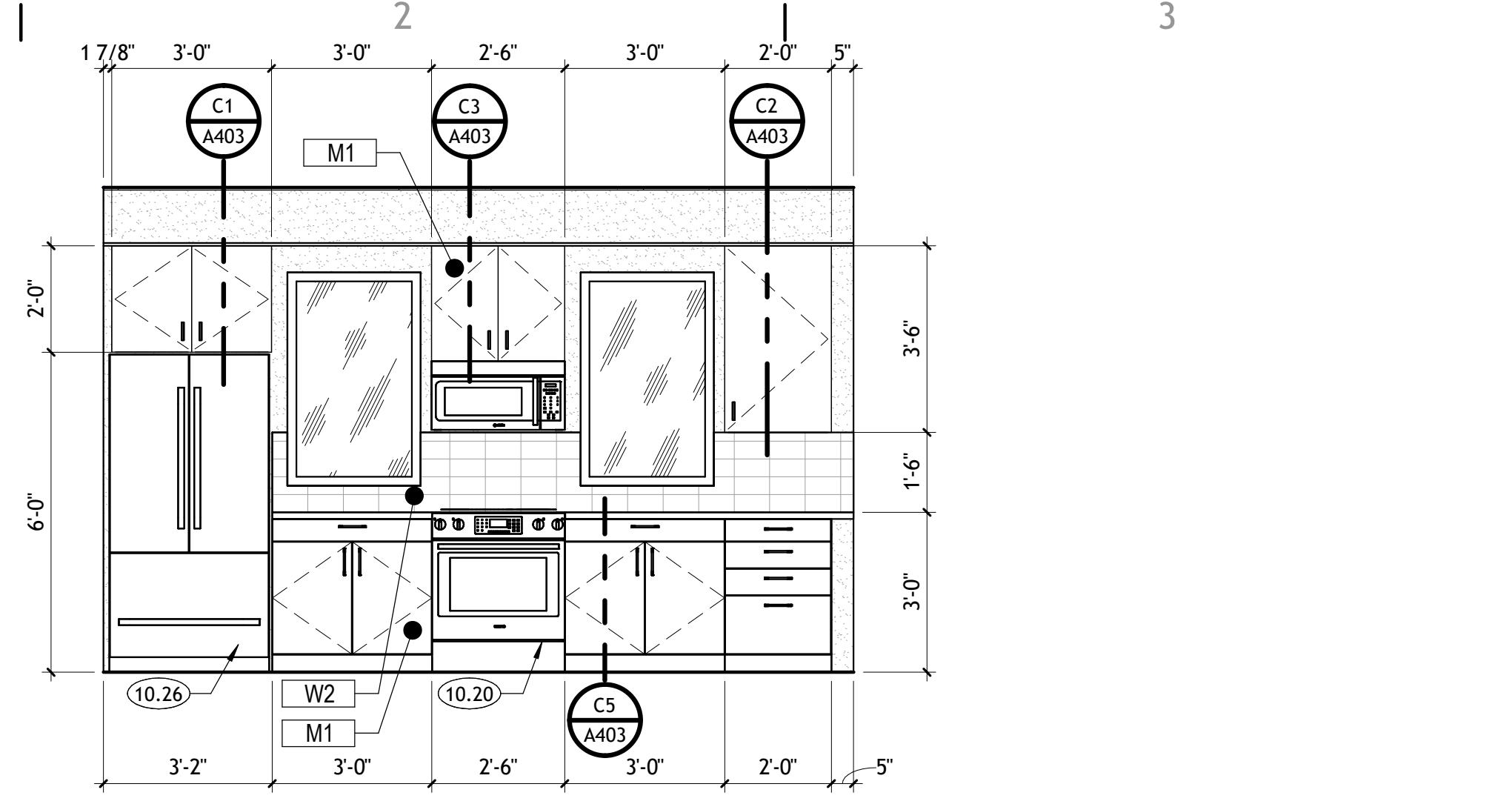
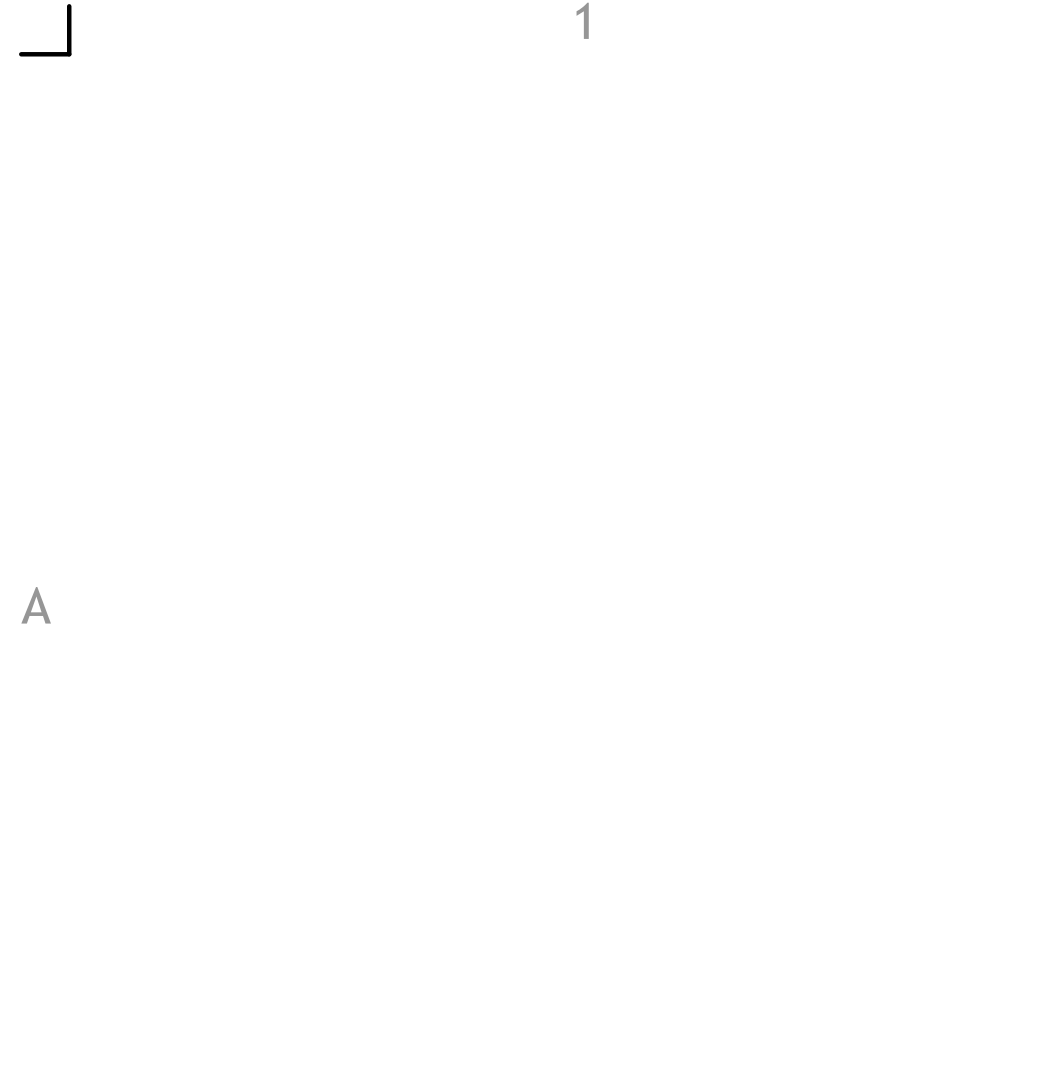


**D1** SIDE ENTRY UNIT PLAN - LEVEL 1  
A402 | SCALE: 3/8" = 1'-0"



**D4** SITE ENTRY UNIT PLAN - LEVEL 2  
A402 | SCALE: 3/8" = 1'-0"

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- KEYNOTES**
- 04.43 TWO PIECE ELONGATED, CHAIR HEIGHT TOILET W/ PLASTIC LID
  - 08.08 SURFACE MOUNTED, SQUARE EDGE MIRROR.
  - 10.20 30" ELECTRIC SLIDE IN RANGE
  - 10.26 36" COUNTER DEPTH 3-DOOR REFRIGERATOR
  - 10.28 UNIT SHOWER/BATH STALL, 3-WALL. PROVIDE SHOWER CURTAIN ROD. SEE G002 FOR HEIGHT AND BLOCKING DETAILS.
  - 10.32 24" BAR HANDLE DISHWASHER
  - 10.34 PULL-DOWN SINGLE-HANDLE KITCHEN FAUCET
  - 10.35 TWO HANDLE LAVATORY FAUCET W/ UNDERMOUNT LAVATORY

**CORE ARCHITECTURE**  
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CONSULTANT INFORMATION

PROJECT TITLE AND ADDRESS  
**EUCLID TOWNHOMES**  
 922 EUCLID AVENUE, SALT LAKE CITY, UT 84104

REVISIONS	
DESCRIPTION	DATE

**PROJECT INFORMATION**

DATE: 15 MARCH 2024  
 PROJECT #: 23-129  
 PM / PA: AS  
 PIC: MA

DRAWING SET STATUS  
**CONSTRUCTION DOCUMENTS**

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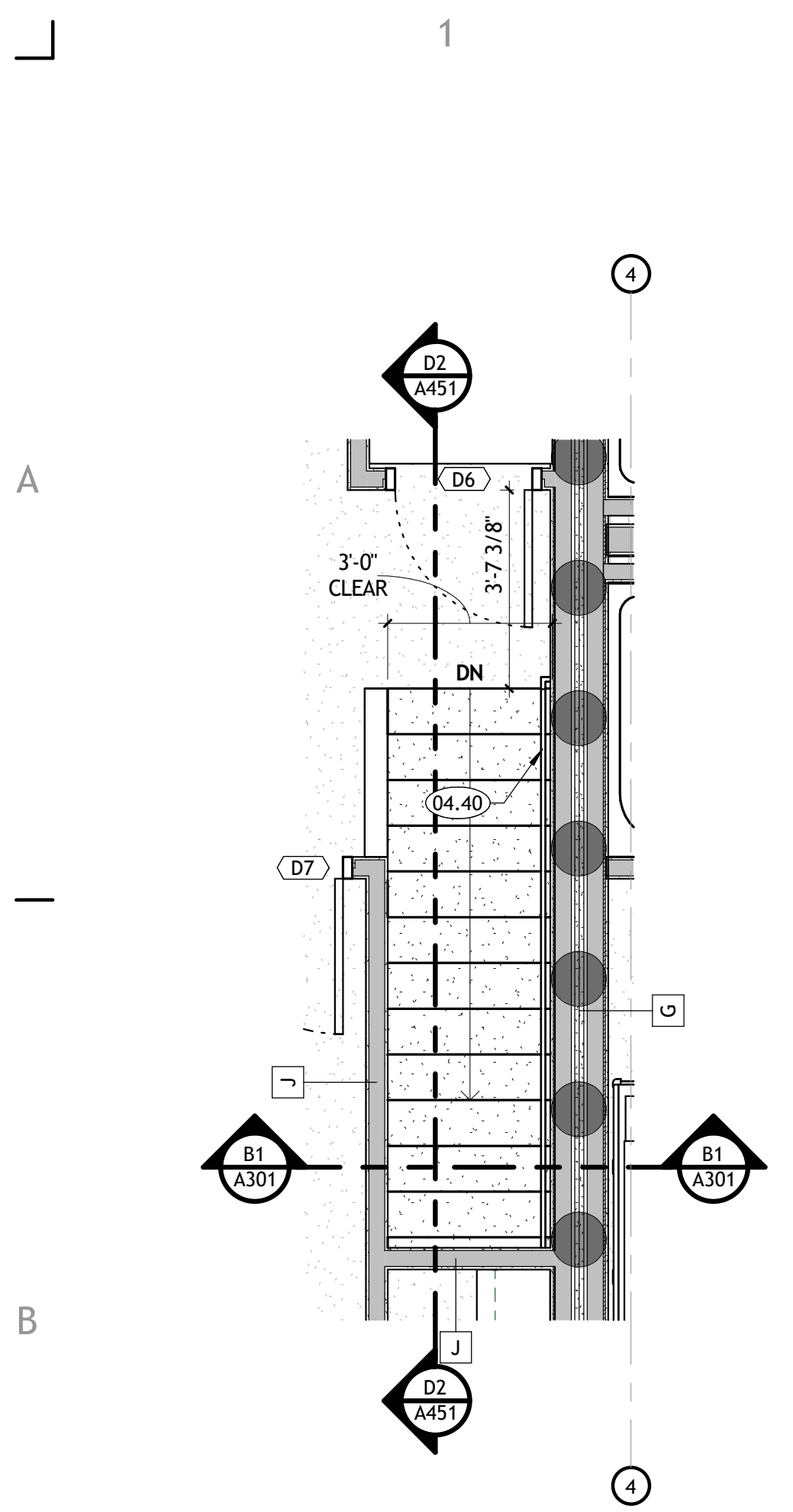
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**INTERIOR ELEVATIONS & MILLWORK DETAILS**

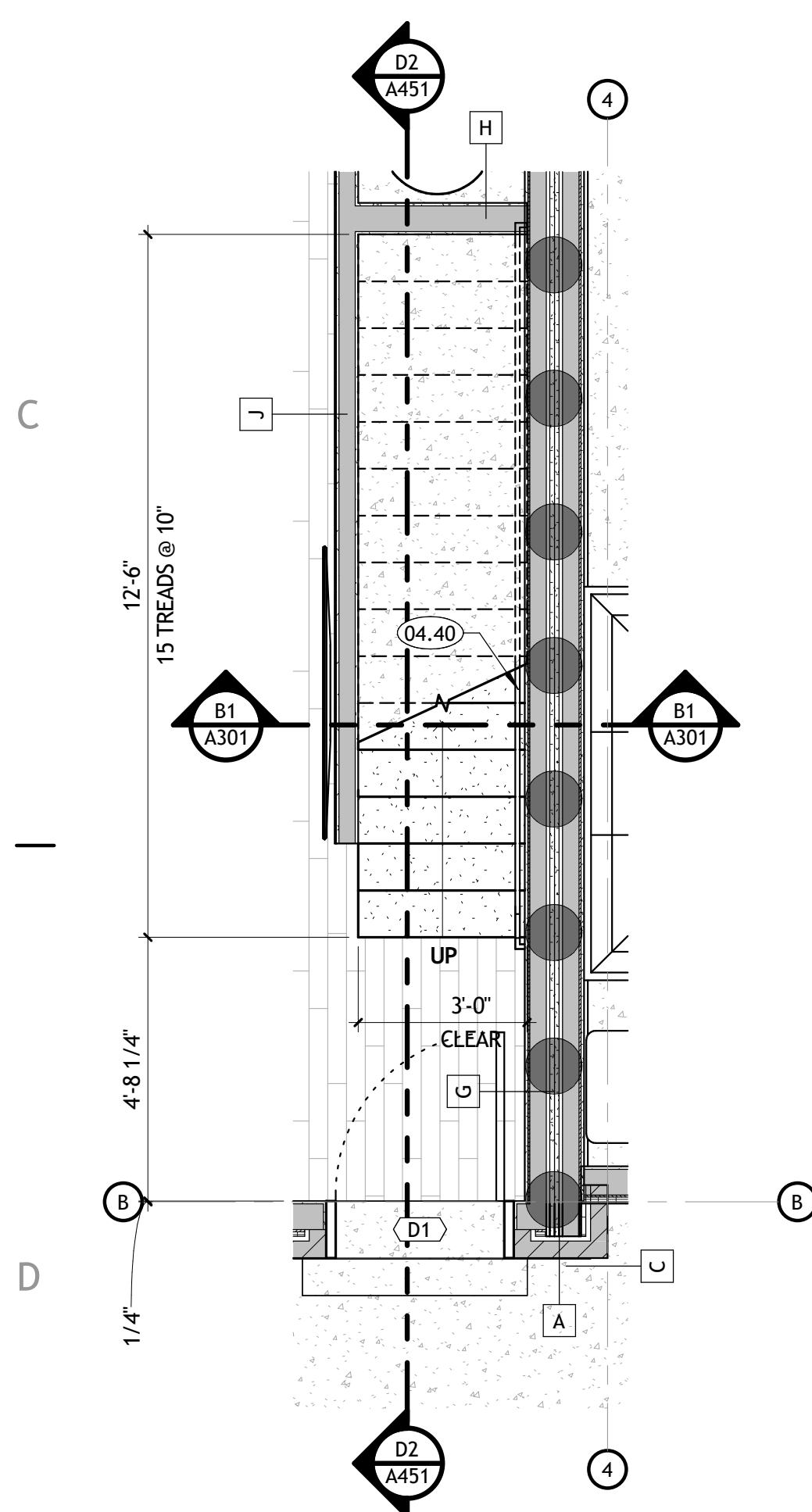
SHEET NUMBER  
**A403**

- GENERAL NOTES**
- A. BACKSPLASH SHALL BE PROVIDED ON BACK WALL AND SIDE WALL WHERE PLUMBING IS SHOWN AS PART OF THE CABINETRY. IF NO PLUMBING IS PRESENT A BACKSPLASH SHALL NOT BE REQUIRED. BACKSPLASH SHALL BE 3/4" THICK AND 4" MINIMUM IN HEIGHT, TO MATCH COUNTERTOP FINISHED MATERIAL. PROVIDE BULLNOSE TOP AND RADIUS BACKSPLASH BOTTOM.
  - B. COUNTERTOPS SHALL BE (2) LAYERS 3/4" PLYWOOD WITH PLASTIC LAMINATE FINISH AT COUNTERTOP, UNLESS OTHERWISE NOTED. FRONT EDGE SHALL HAVE HALF BULLNOSE FINISH.
  - C. IF THE TOP OF THE CABINET IS LESS THAN 18" AWAY FROM THE FINISHED CEILING ENCLOSURE, A PLASTIC LAMINATE PANEL SHALL BE REQUIRED.

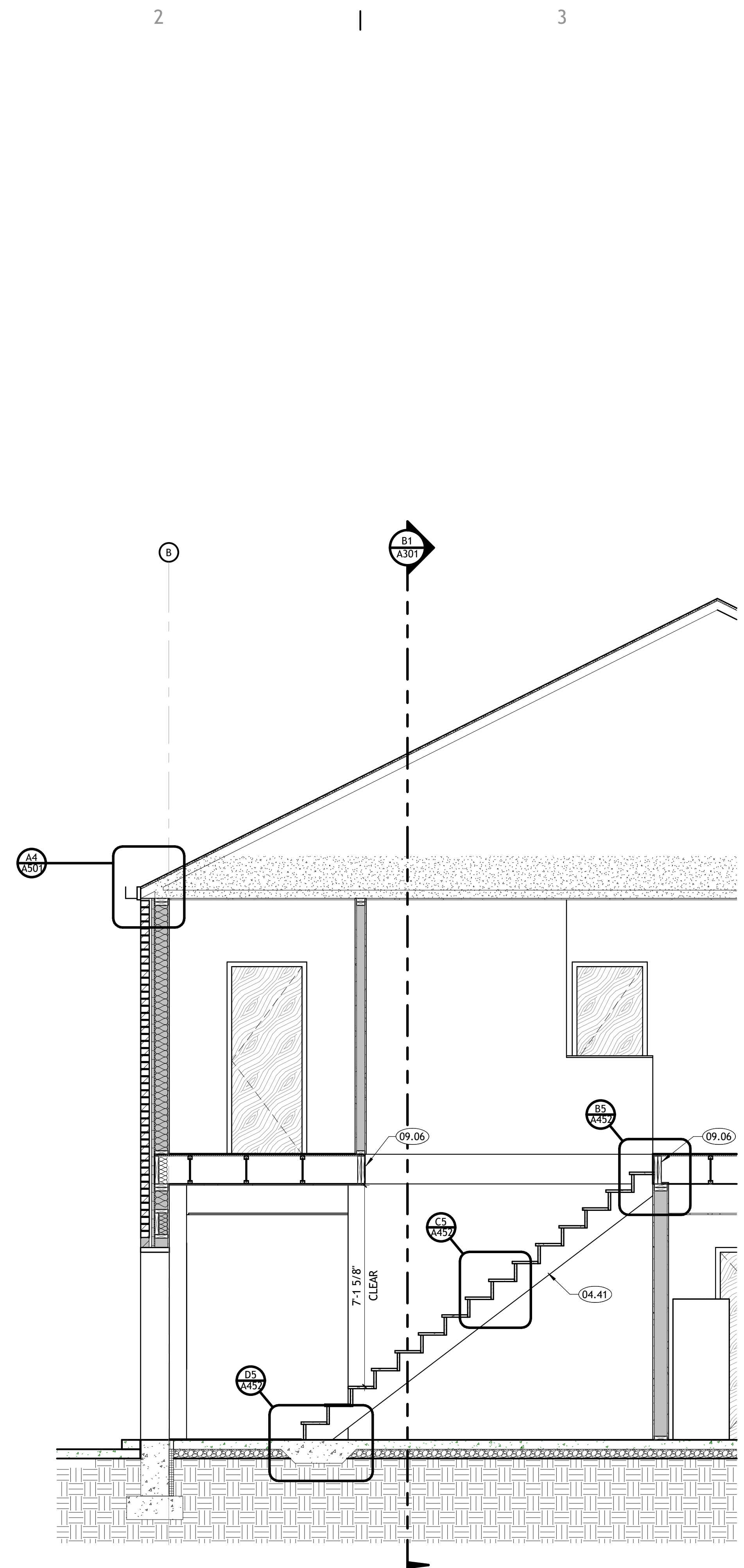
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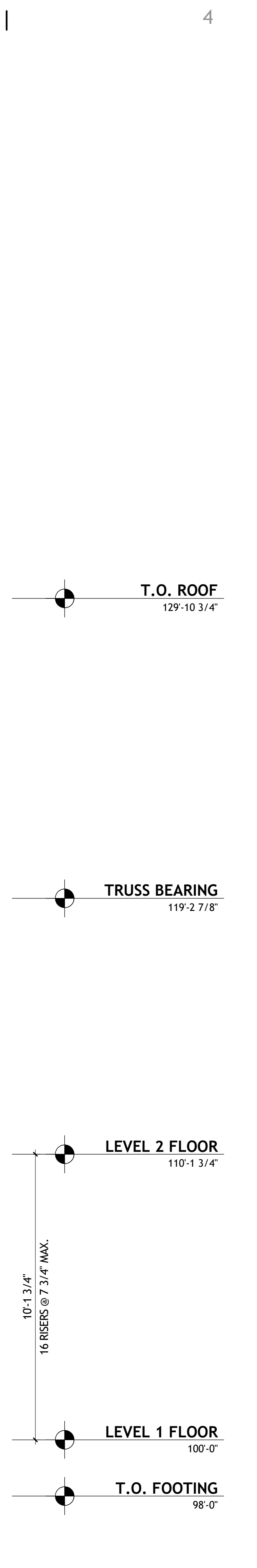
**B1** TYPICAL STAIR PLAN - LEVEL 2  
A451 | SCALE: 3/8" = 1'-0"



**D1** TYPICAL STAIR PLAN - LEVEL 1  
A451 | SCALE: 3/8" = 1'-0"



**D2** STAIR SECTION 2  
A451 | SCALE: 3/8" = 1'-0"



**D5** STAIR SECTION 1  
A451 | SCALE: 3/8" = 1'-0"

**KEYNOTES**

- 04.40 PREFINISHED WOOD HANDRAIL 36" ABOVE FINISHED FLOOR OR NOSE OF STAIRS. SEE TYPICAL DETAILS ON SHEET A452
- 04.41 PRE-FINISHED WOOD STAIR STRINGERS. SEE TYPICAL DETAILS ON SHEET A452
- 09.06 WOOD BEAM OR HEADER. SEE FRAMING PLANS.

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CONSULTANT INFORMATION

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**EUCLID TOWNHOMES**

922 EUCLID AVENUE, SALT LAKE CITY, UT 84104

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DRAWING SET STATUS  
**CONSTRUCTION DOCUMENTS**

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SHEET TITLE

**STAIR PLANS & SECTIONS**

SHEET NUMBER  
**A451**

**GENERAL NOTES**

- A. GENERAL CONTRACTOR SHALL VERIFY ALL CONDITIONS, DIMENSIONS, AND ASSEMBLIES PRIOR TO CONSTRUCTION. REPORT ANY SIGNIFICANT DISCREPANCIES TO THE ARCHITECT.
- B. CONCRETE FOUNDATION WALLS RETAINING EARTH TO RECEIVE TWO COATS OF BITUMINOUS DAMP PROOFING MATERIAL.
- C. MINIMUM ROOF CLASSIFICATION TO BE AS NOTED ON THE CODE ANALYSIS.
- D. MINIMUM ROOF SLOPE TO BE 1/4" PER FOOT.
- E. INSULATE ENTIRE ROOF WITH R-49 BLOWN-IN INSULATION.
- F. EXPOSED FOUNDATION WALLS TO RECEIVE RUBBED FINISH.
- G. SEE ENGINEERING SHEETS FOR ADDITIONAL INFORMATION.
- H. MASONRY TO HAVE CONTROL JOINTS AT 30' O.C. MAXIMUM.
- I. COORDINATE INSTALLATION OF ALL "AFTER CONTRACT" ASSEMBLIES WITH THE OWNER PRIOR TO CONSTRUCTION OF ADJOINING OR RELATED STRUCTURES.
- J. PROVIDE METAL FLASHING AND COUNTER FLASHING AS REQUIRED TO PROVIDE WATERPROOF BUILDING. NO PLASTIC FLASHING ALLOWED.
- K. WALL TYPES ARE ON SHEET G002.
- L. SEE A150 SHEETS FOR REFLECTED CEILING PLANS.
- M. SEE A400 SHEETS FOR FURNISHINGS AND FINISH SCHEDULE.
- N. ALL STEEL STAIR COMPONENTS SHALL BE GROUND SMOOTH AND PAINT (2 COATS MINIMUM).
- O. CONTRACTOR SHALL BE RESPONSIBLE TO ASSURE THAT ALL GUARD AND HANDRAIL SYSTEMS SHALL MEET IBC STRENGTH REQUIREMENTS.
- P. PROVIDE HANDRAIL BRACKET SUPPORTS AS REQUIRED. ATTACH DIRECTLY PROVIDE BLOCKING/ METAL BACKING WHEN ATTACHING TO FRAMED WALLS. FASTEN FRAMED WALL CONDITIONS AS REQUIRED. WELD TO VERTICAL STEEL BALUSTERS AS REQUIRED.

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REVISIONS	
Δ DESCRIPTION	DATE

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PIC:	MA

DRAWING SET STATUS  
**CONSTRUCTION DOCUMENTS**

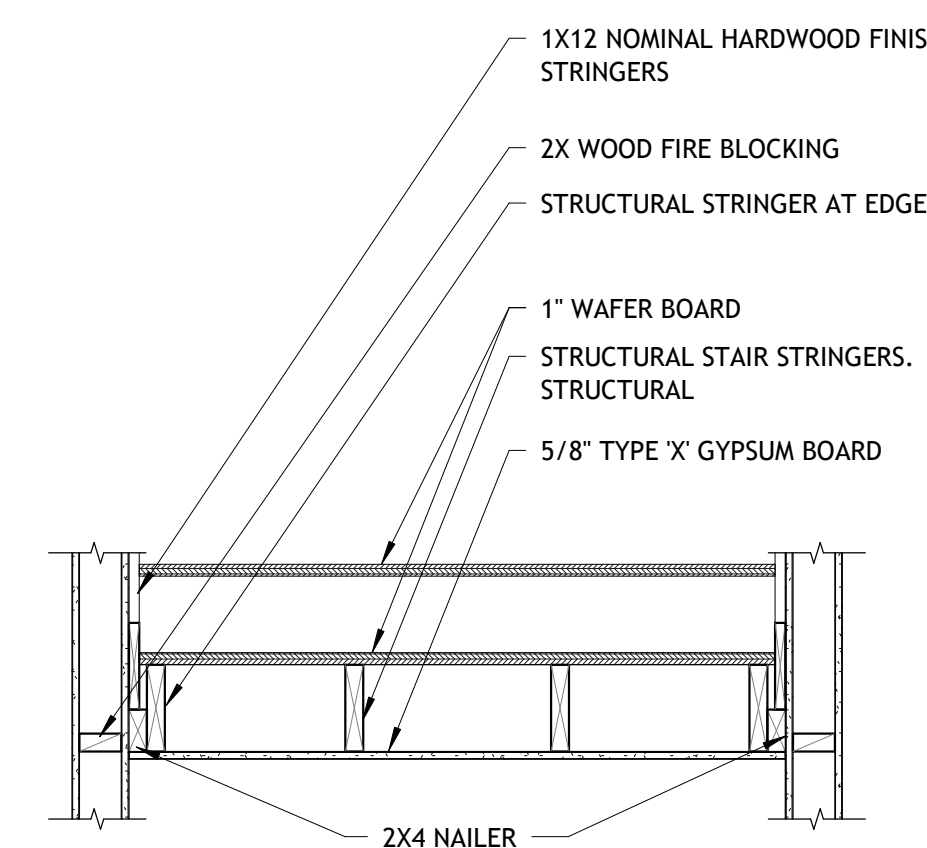
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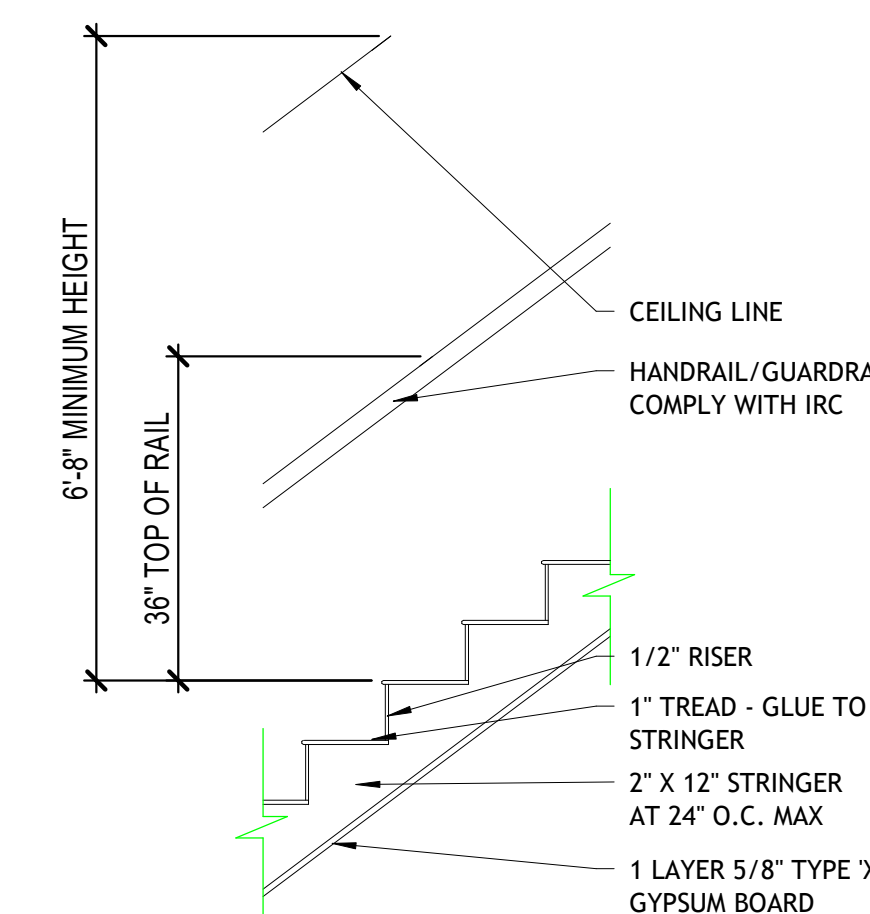
**STAIR DETAILS**

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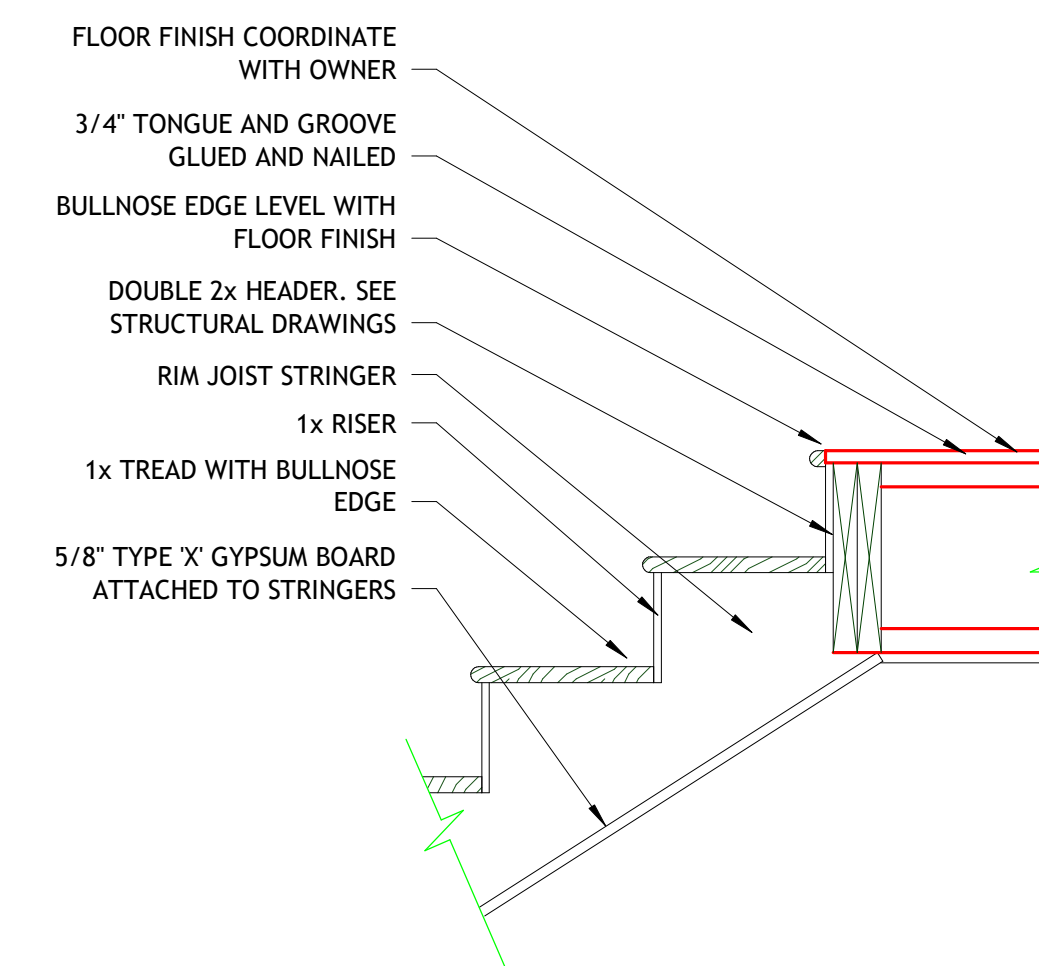
**A452**



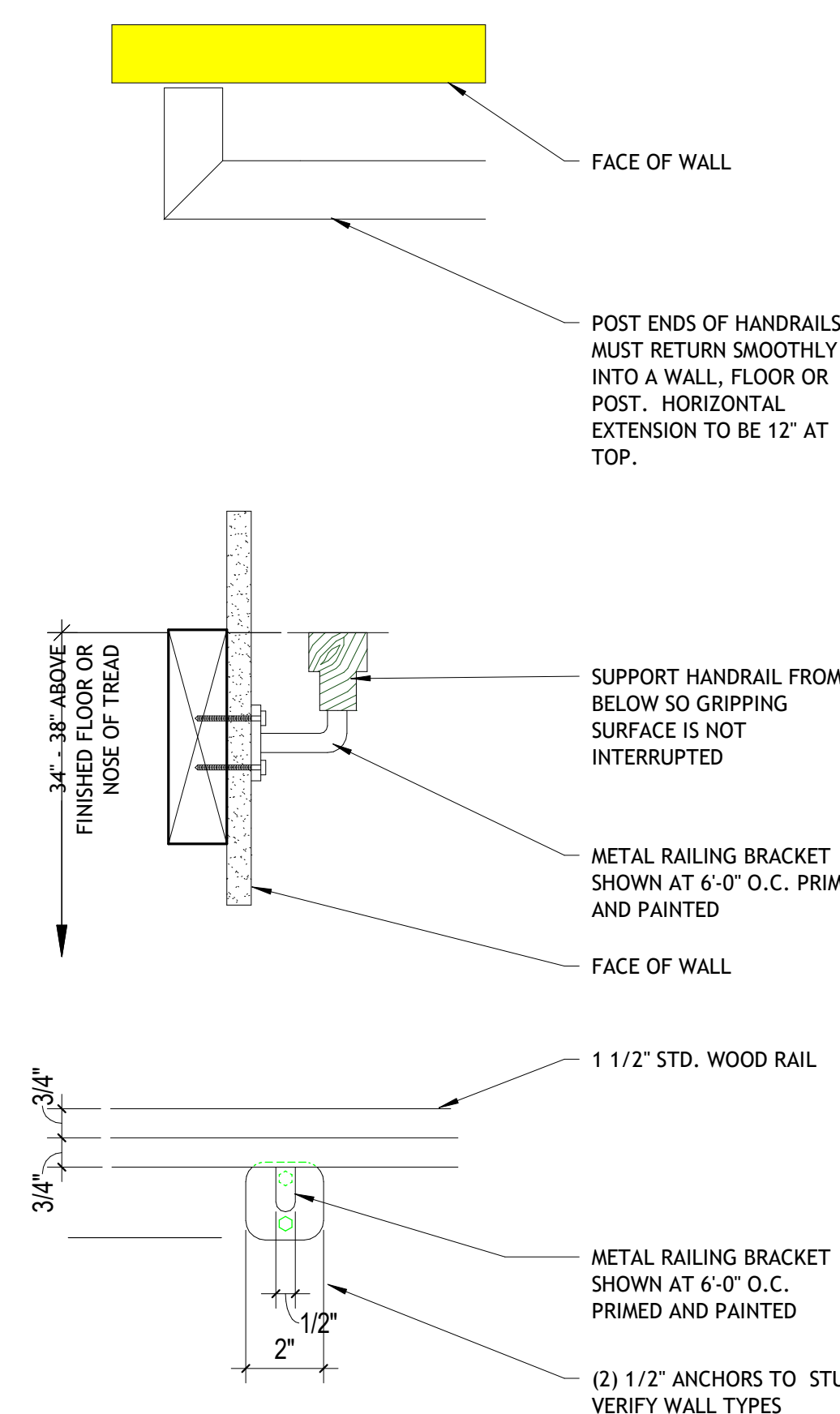
**A4** ENLARGED STAIR SECTION  
A452 | SCALE: 3/4" = 1'-0"



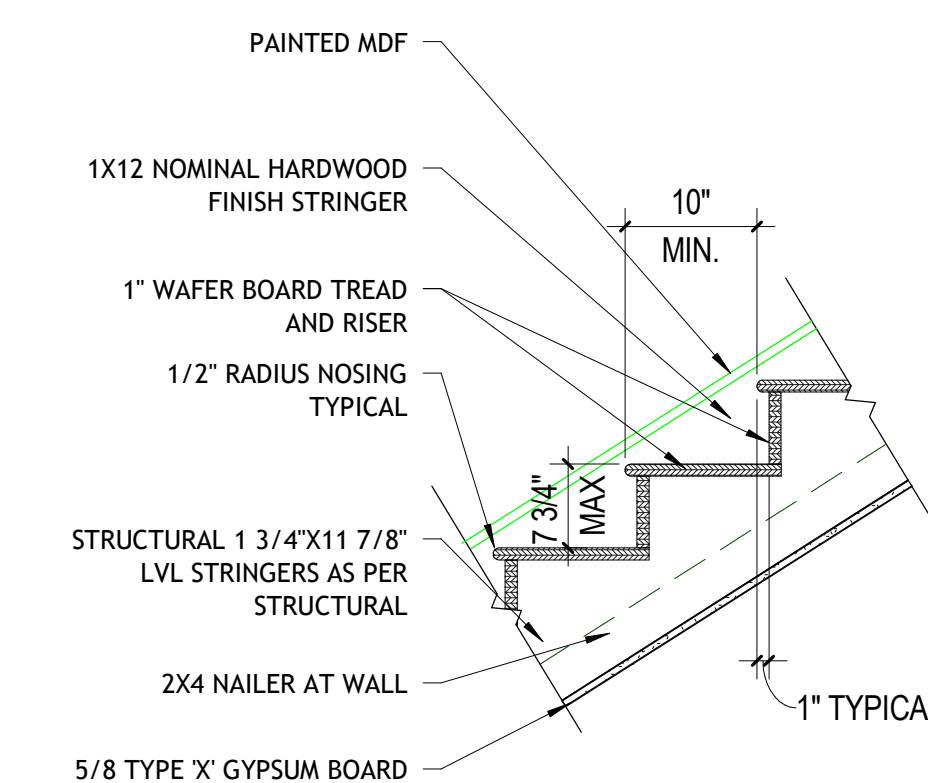
**A5** OVERALL STAIR DETAIL  
A452 | SCALE: 1/4" = 1'-0"



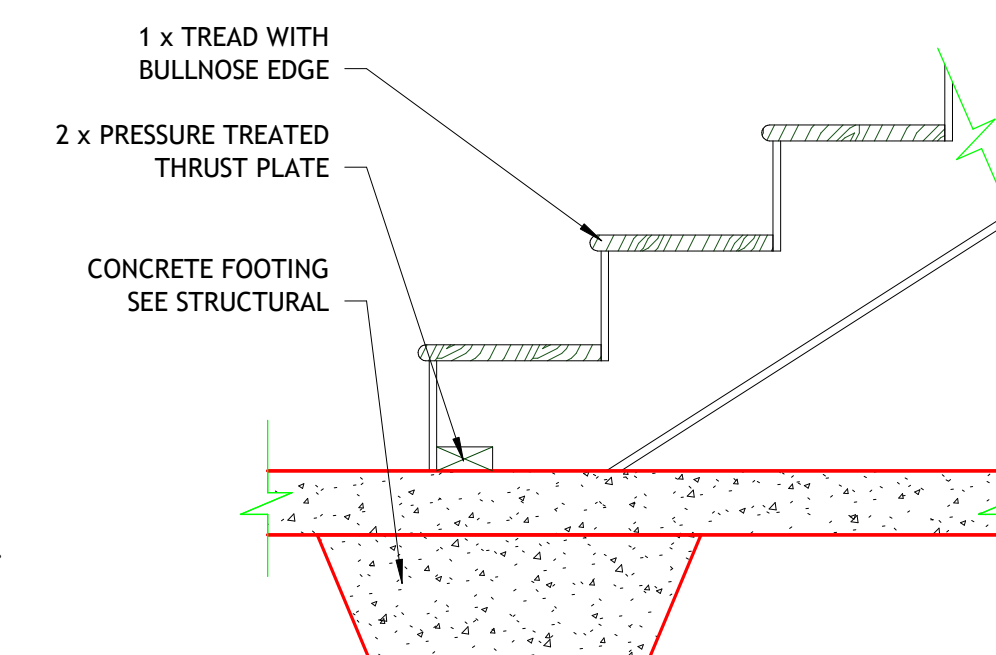
**B5** STAIR TOP DETAIL  
A452 | SCALE: 1" = 1'-0"



**D4** WOOD HANDRAIL DETAIL  
A452 | SCALE: 3" = 1'-0"



**C5** ENLARGED STAIR DETAIL  
A452 | SCALE: 3/4" = 1'-0"



**D5** STAIR BASE DETAIL  
A452 | SCALE: 1" = 1'-0"

**GENERAL NOTES**

- GENERAL CONTRACTOR SHALL VERIFY ALL CONDITIONS, DIMENSIONS, AND ASSEMBLIES PRIOR TO CONSTRUCTION. REPORT ANY SIGNIFICANT DISCREPANCIES TO THE ARCHITECT.
- CONCRETE FOUNDATION WALLS RETAINING EARTH TO RECEIVE TWO COATS OF BITUMINOUS DAMP PROOFING MATERIAL.
- MINIMUM ROOF CLASSIFICATION TO BE AS NOTED ON THE CODE ANALYSIS.
- MINIMUM ROOF SLOPE TO BE 1/4" PER FOOT.
- INSULATE ENTIRE ROOF WITH R-49 BLOWN-IN INSULATION.
- EXPOSED FOUNDATION WALLS TO RECEIVE RUBBED FINISH.
- SEE ENGINEERING SHEETS FOR ADDITIONAL INFORMATION.
- MASONRY TO HAVE CONTROL JOINTS AT 30' O.C. MAXIMUM.
- COORDINATE INSTALLATION OF ALL "AFTER CONTRACT" ASSEMBLIES WITH THE OWNER PRIOR TO CONSTRUCTION OF ADJOINING OR RELATED STRUCTURES.
- PROVIDE METAL FLASHING AND COUNTER FLASHING AS REQUIRED TO PROVIDE WATERPROOF BUILDING. NO PLASTIC FLASHING ALLOWED.
- WALL TYPES ARE ON SHEET G002.
- SEE A150 SHEETS FOR REFLECTED CEILING PLANS.
- SEE A400 SHEETS FOR FURNISHINGS AND FINISH SCHEDULE.
- ALL STEEL STAIR COMPONENTS SHALL BE GROUND SMOOTH AND PAINT (2 COATS MINIMUM).
- CONTRACTOR SHALL BE RESPONSIBLE TO ASSURE THAT ALL GUARD AND HANDRAIL SYSTEMS SHALL MEET IBC STRENGTH REQUIREMENTS.
- PROVIDE HANDRAIL BRACKET SUPPORTS AS REQUIRED. ATTACH DIRECTLY PROVIDE BLOCKING/ METAL BACKING WHEN ATTACHING TO FRAMED WALLS. FASTEN FRAMED WALL CONDITIONS AS REQUIRED. WELD TO VERTICAL STEEL BALUSTERS AS REQUIRED.

REVISIONS	
Δ DESCRIPTION	DATE

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DRAWING SET STATUS  
**CONSTRUCTION DOCUMENTS**

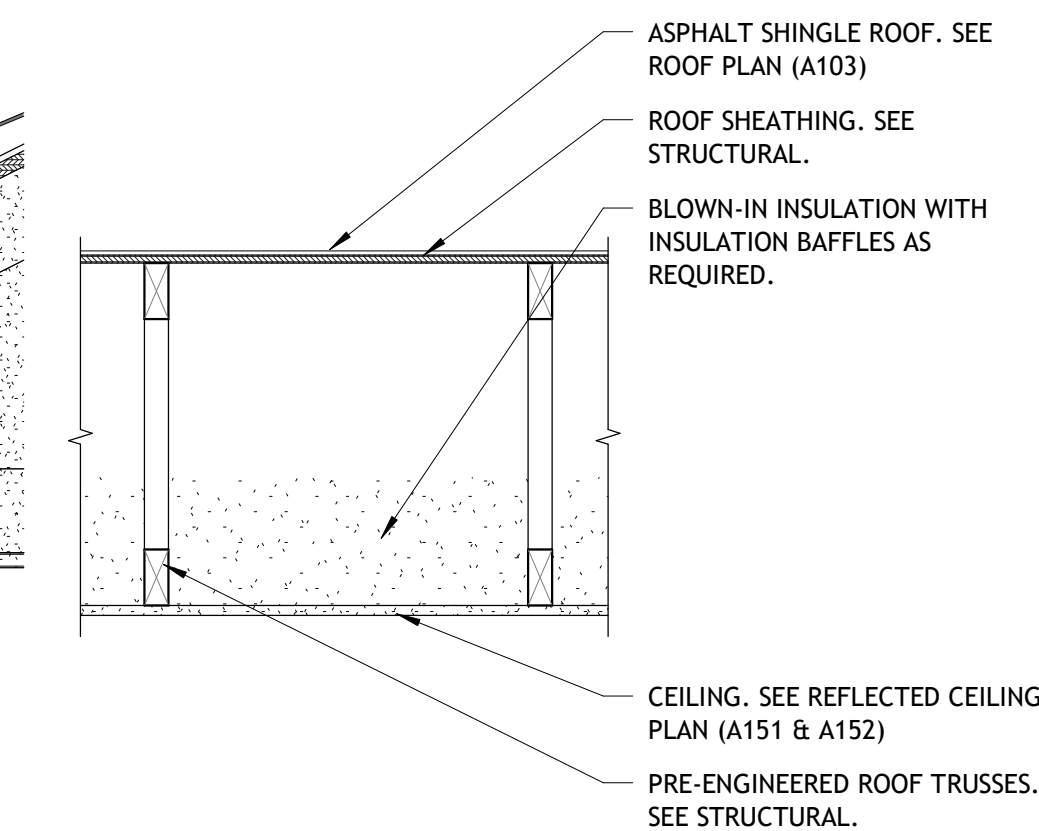
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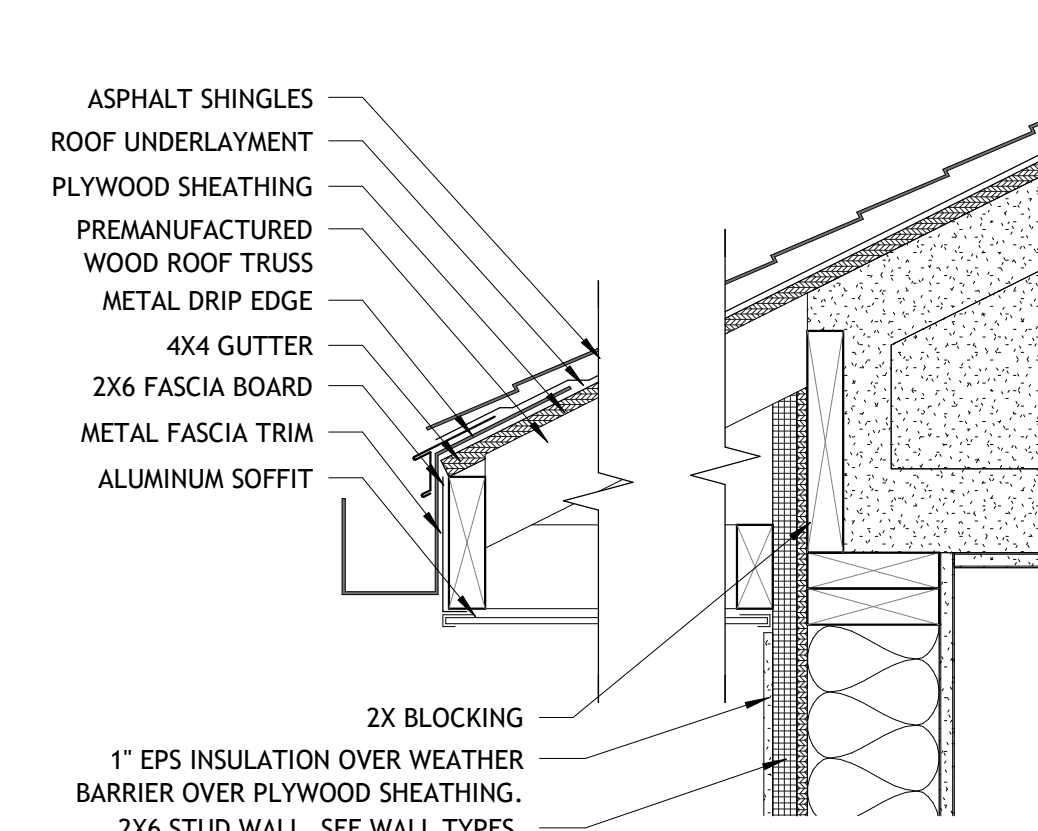
**ARCHITECTURAL DETAILS**

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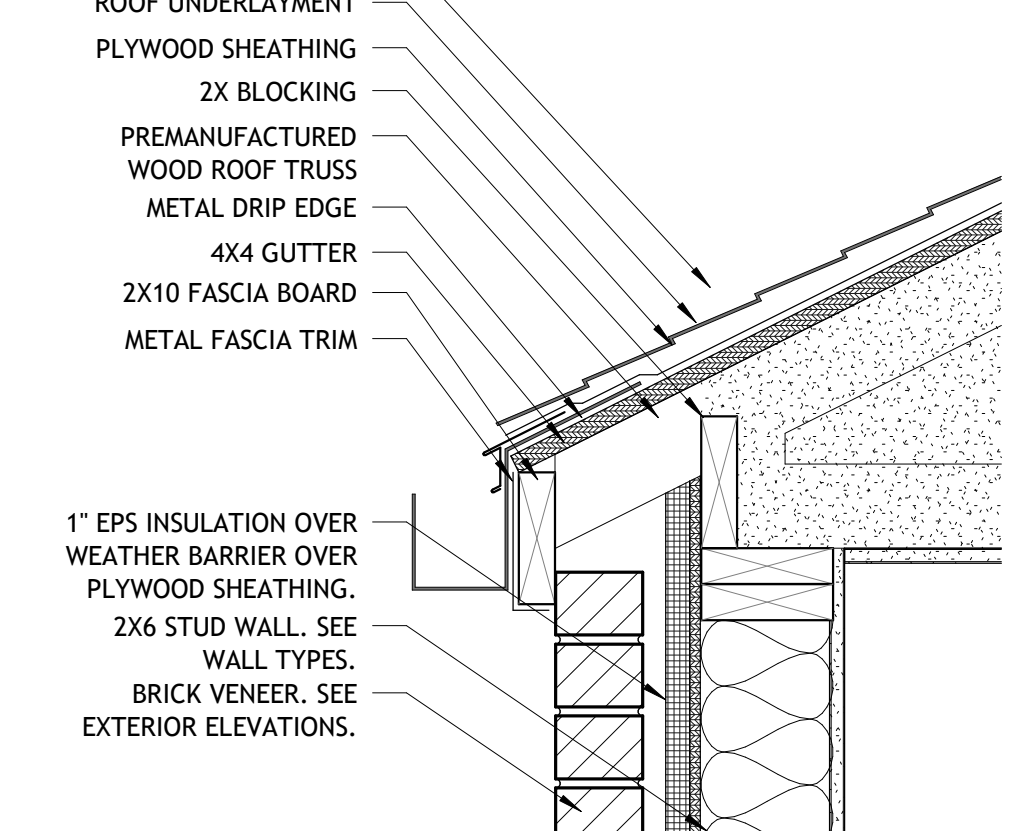
**A501**



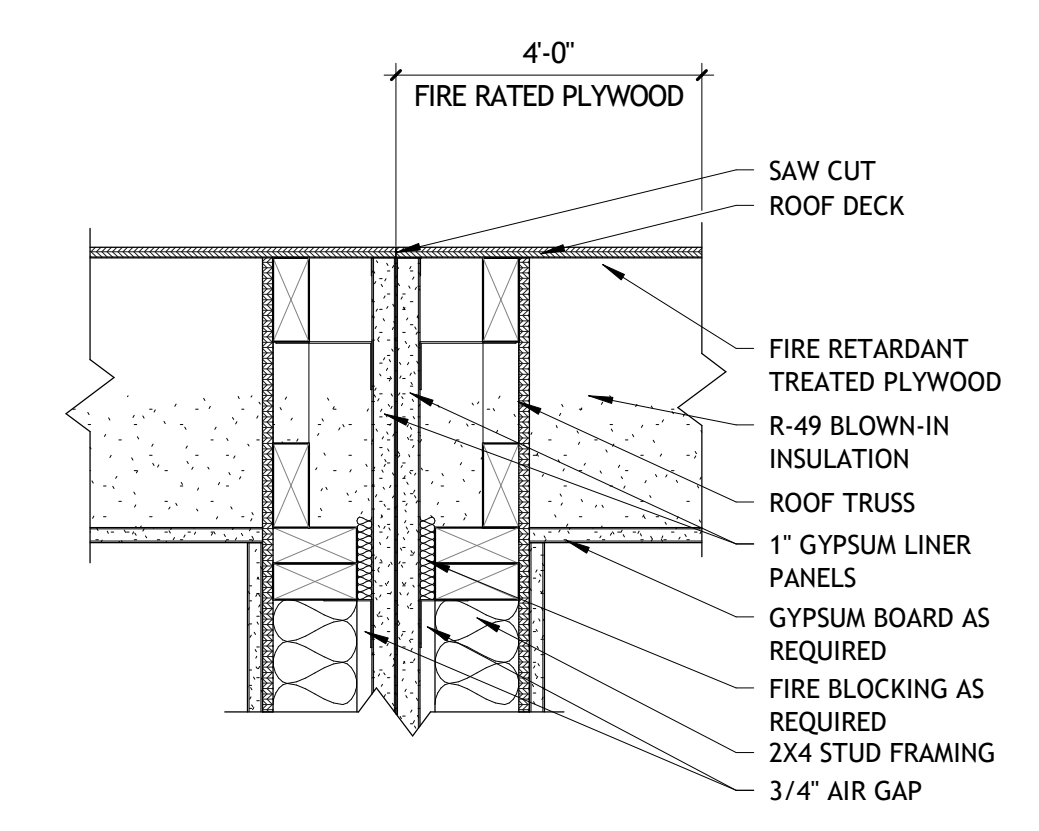
**A6 ROOF SYSTEM DETAIL**  
A501 | SCALE: 1" = 1'-0"



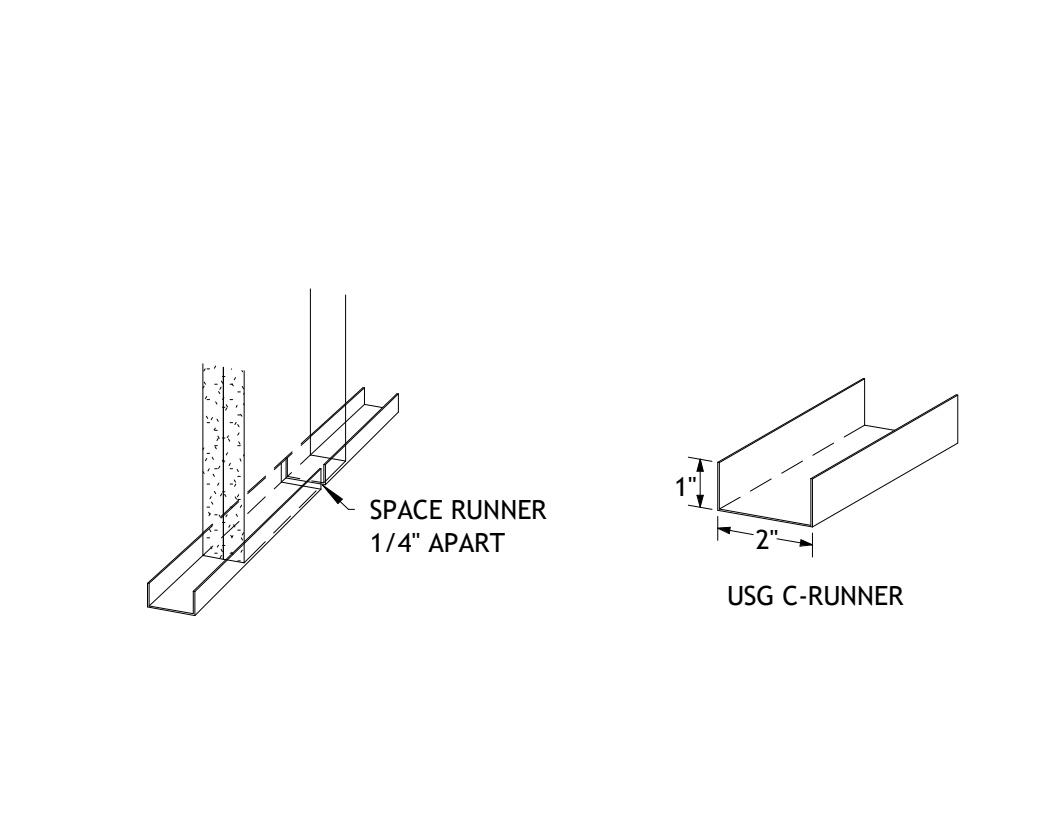
**A5 ROOF DETAIL**  
A501 | SCALE: 1 1/2" = 1'-0"



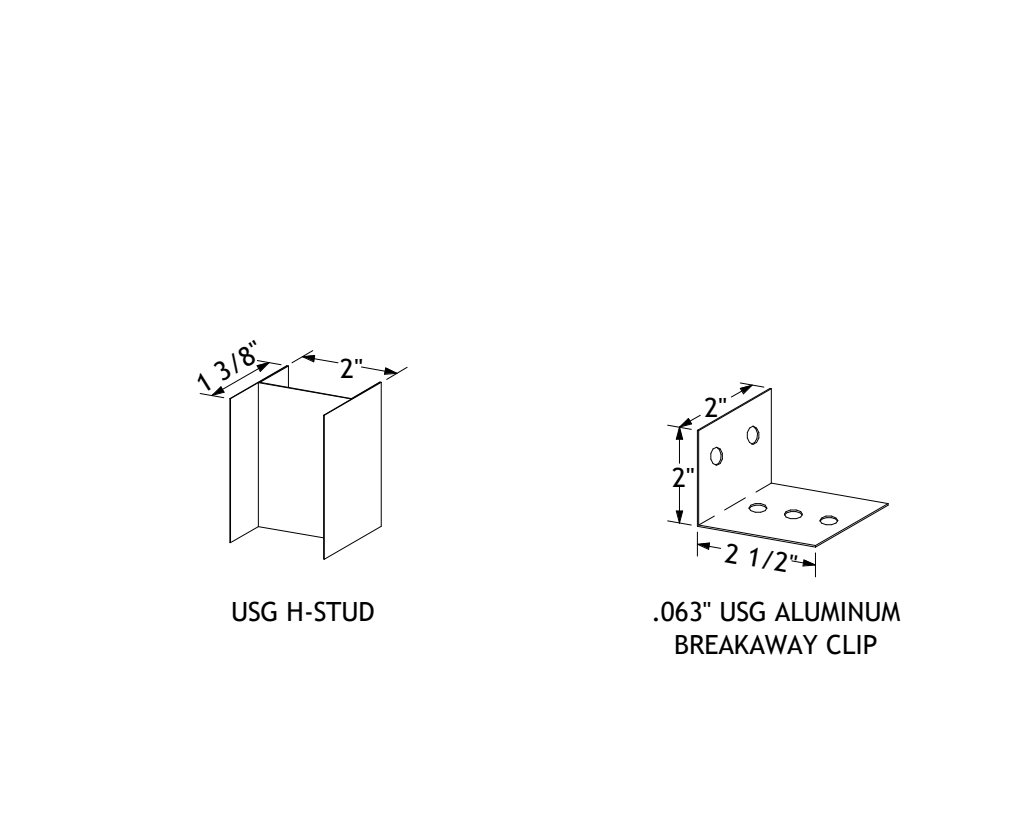
**A4 EAVELESS ROOF DETAIL**  
A501 | SCALE: 1 1/2" = 1'-0"



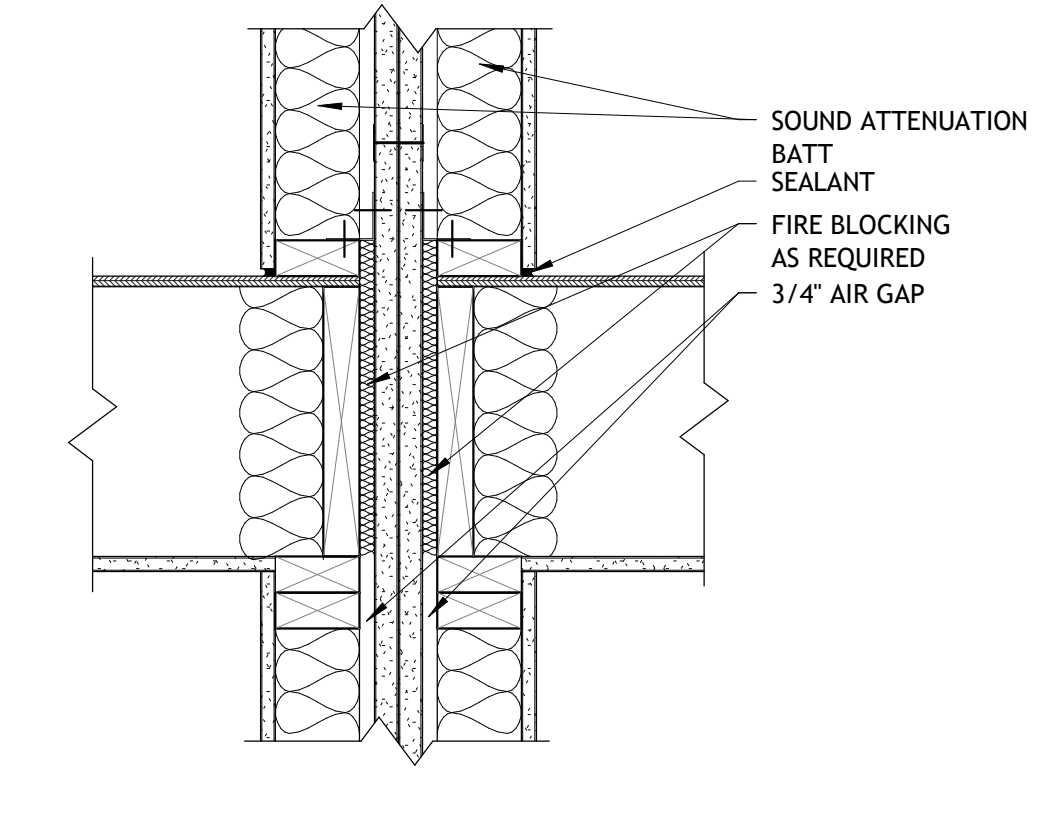
**B6 INTERSECTION @ ROOF**  
A501 | SCALE: 1 1/2" = 1'-0"



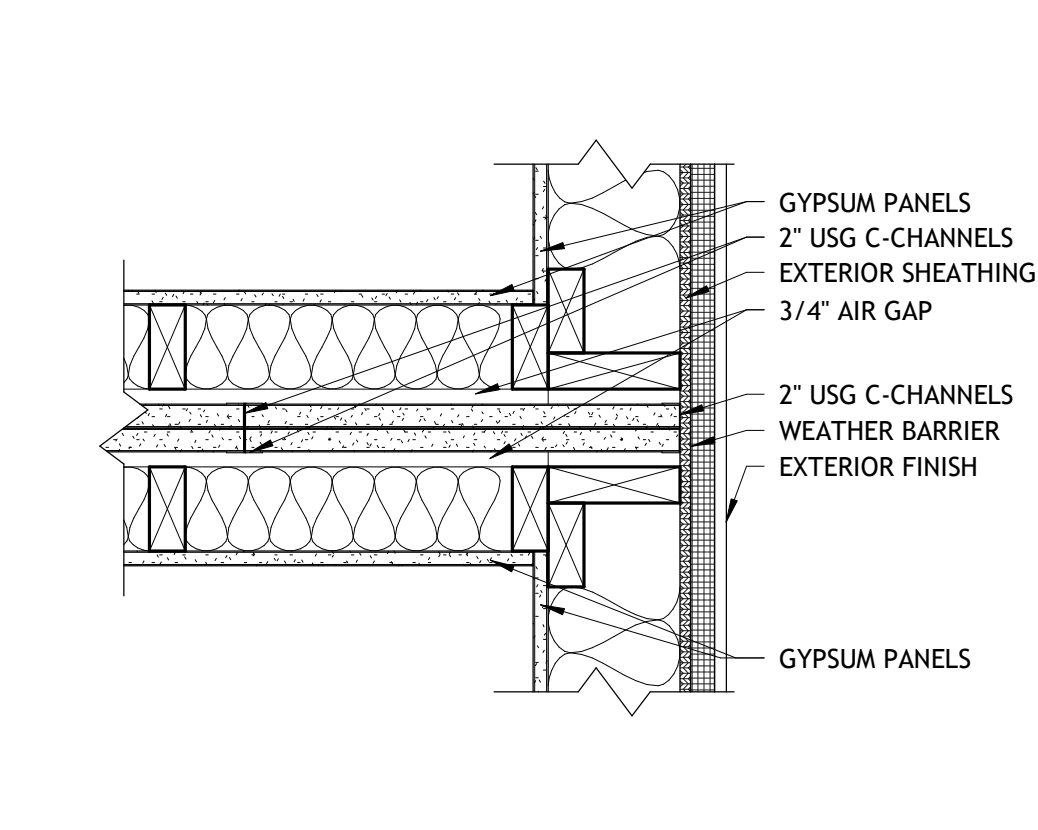
**B5 TYPICAL RUNNER INSTALLATION**  
A501 | SCALE: 1 1/2" = 1'-0"



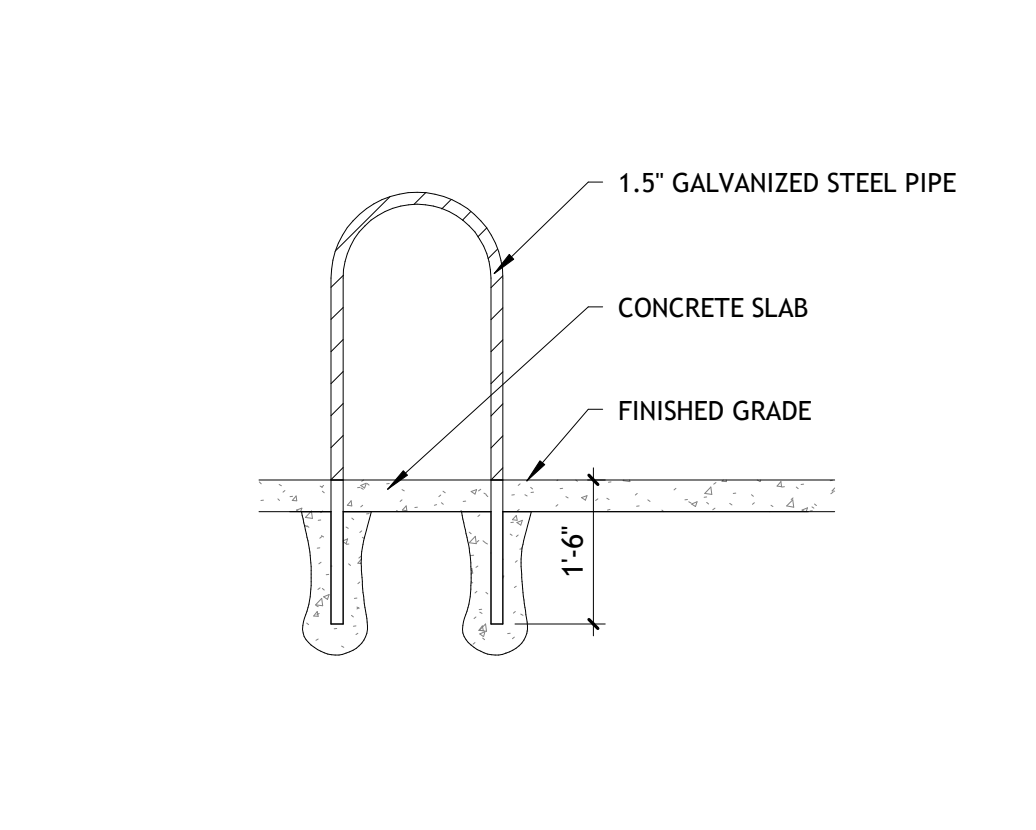
**B4 TYPICAL COMPONENTS**  
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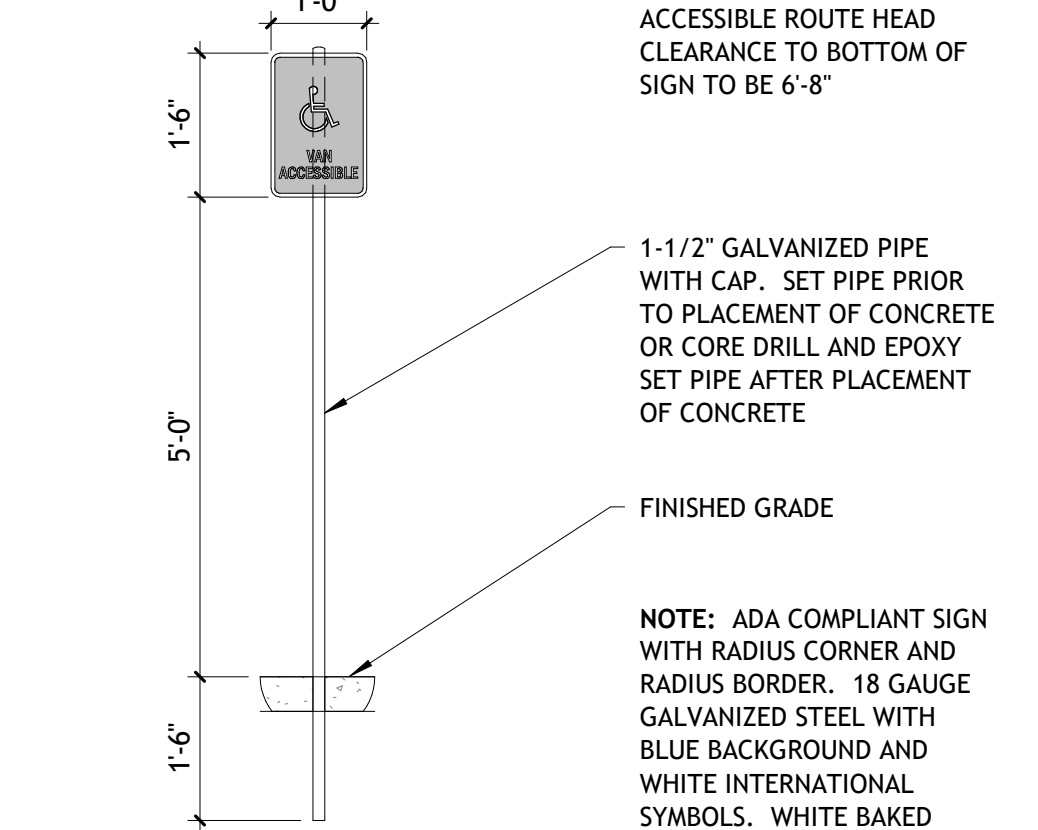
**C6 INTERMEDIATE FLOOR**  
A501 | SCALE: 1 1/2" = 1'-0"



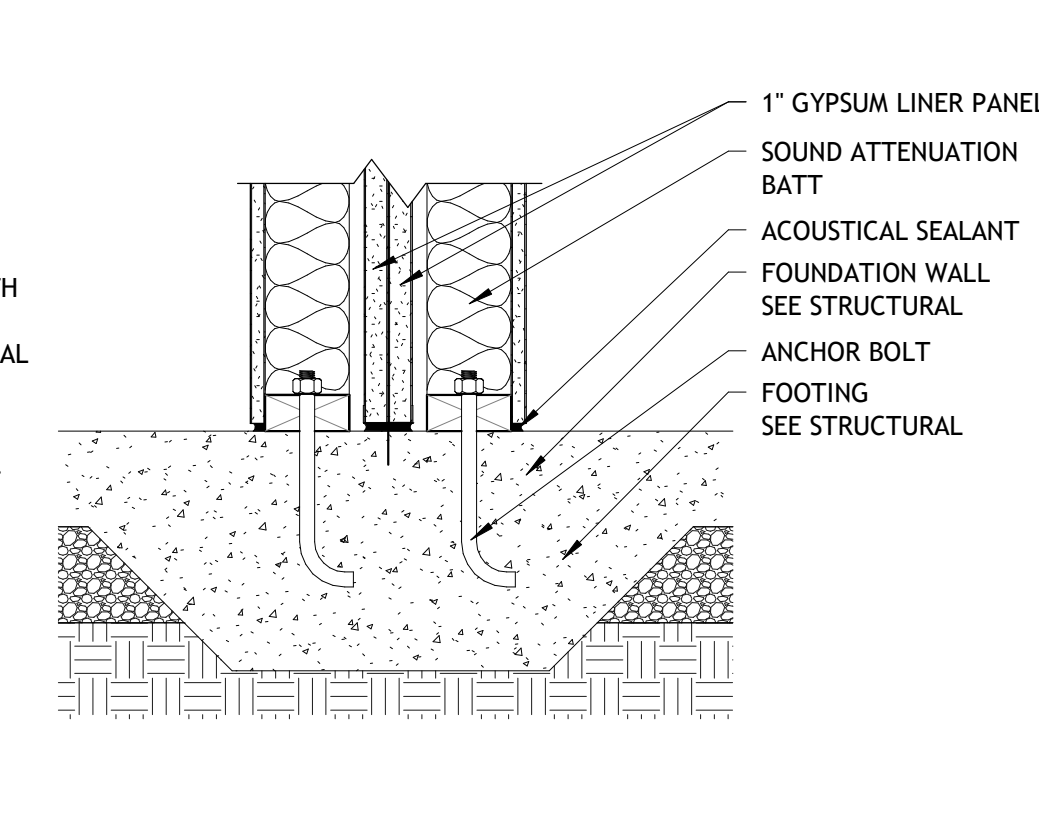
**C5 EXTERIOR WALL INTERSECTION**  
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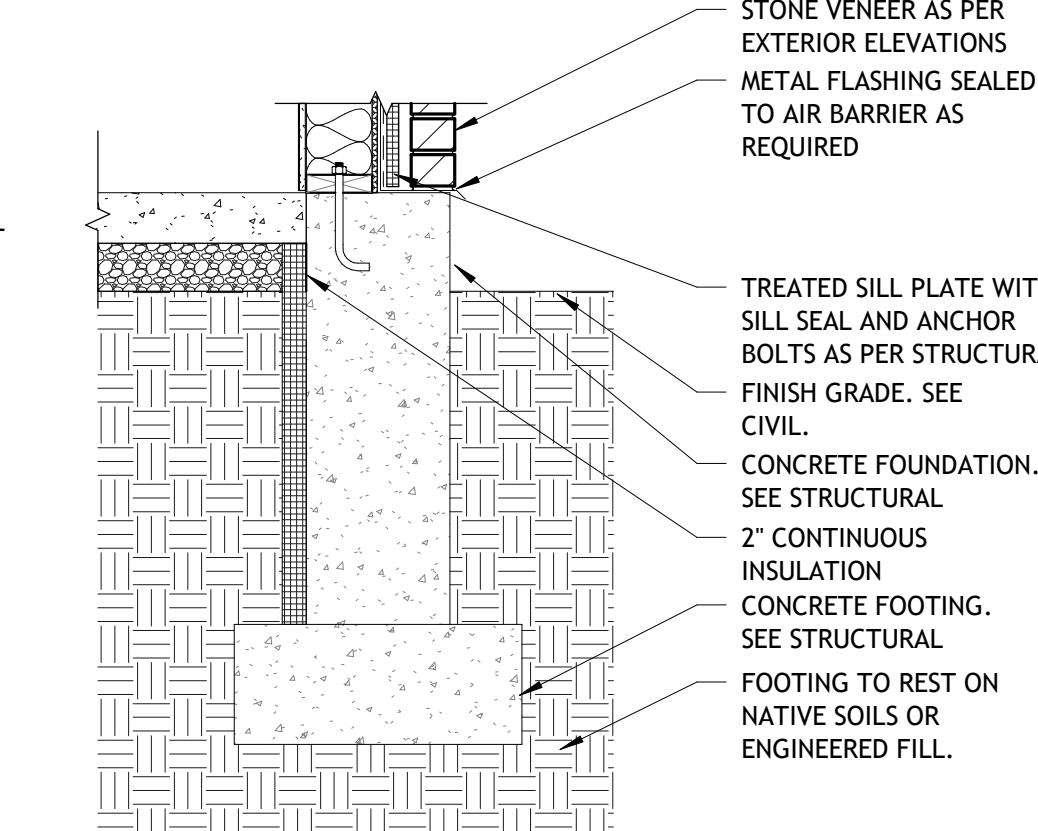
**C4 BICYCLE RACK**  
A501 | SCALE: 1/2" = 1'-0"



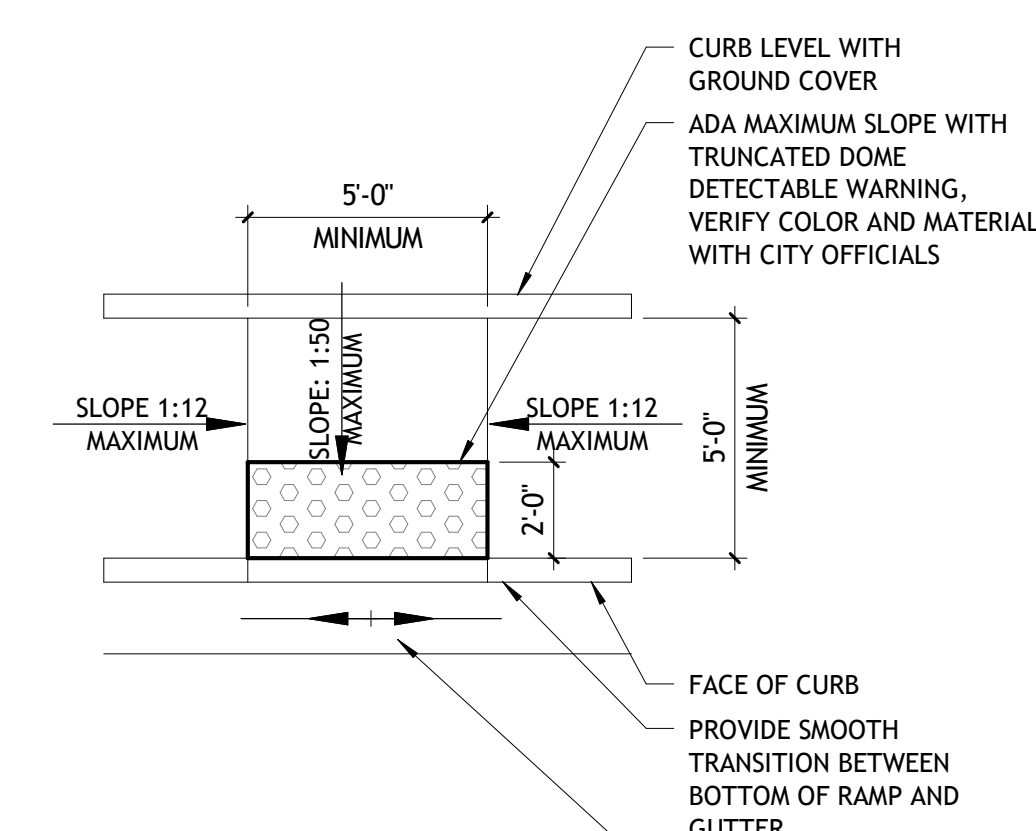
**C3 ADA VAN PARKING SIGN**  
A501 | SCALE: 1/2" = 1'-0"



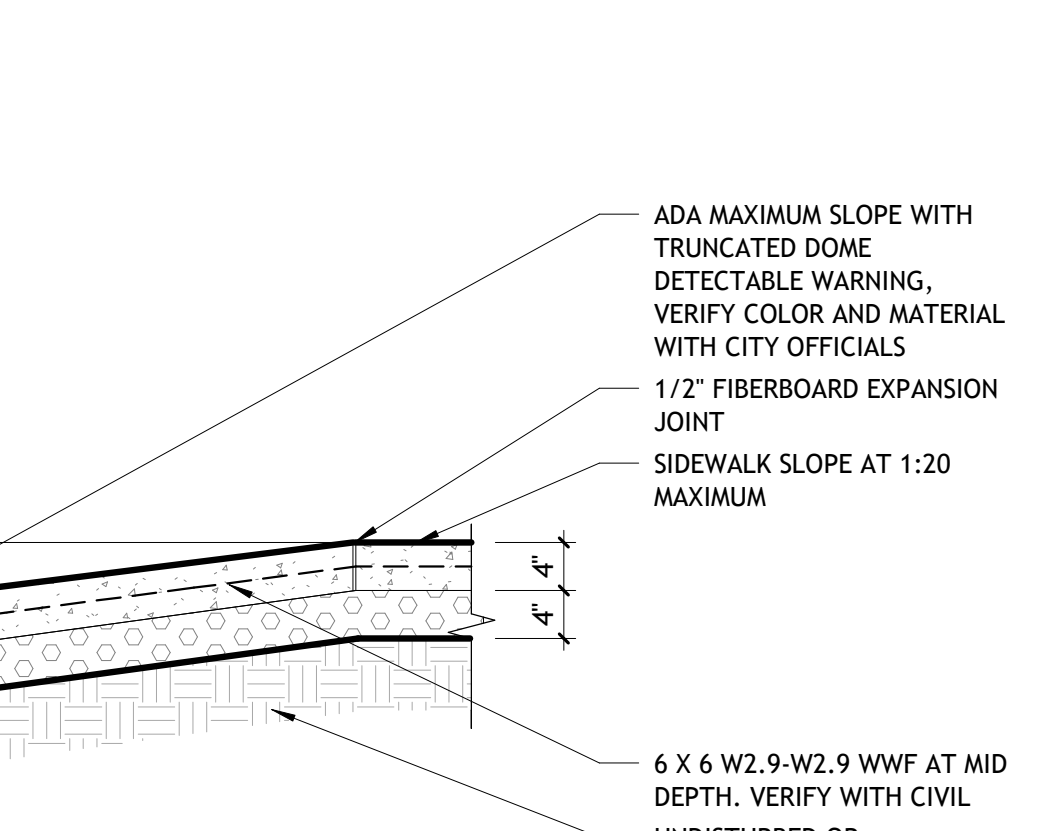
**D6 FOUNDATION**  
A501 | SCALE: 1 1/2" = 1'-0"



**D5 EXTERIOR FOUNDATION DETAIL**  
A501 | SCALE: 3/4" = 1'-0"



**D4 CURB RAMP DETAIL**  
A501 | SCALE: 1/4" = 1'-0"



**D2 CURB RAMP SECTION**  
A501 | SCALE: 3/4" = 1'-0"

A

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DRAWING SET STATUS  
**CONSTRUCTION DOCUMENTS**

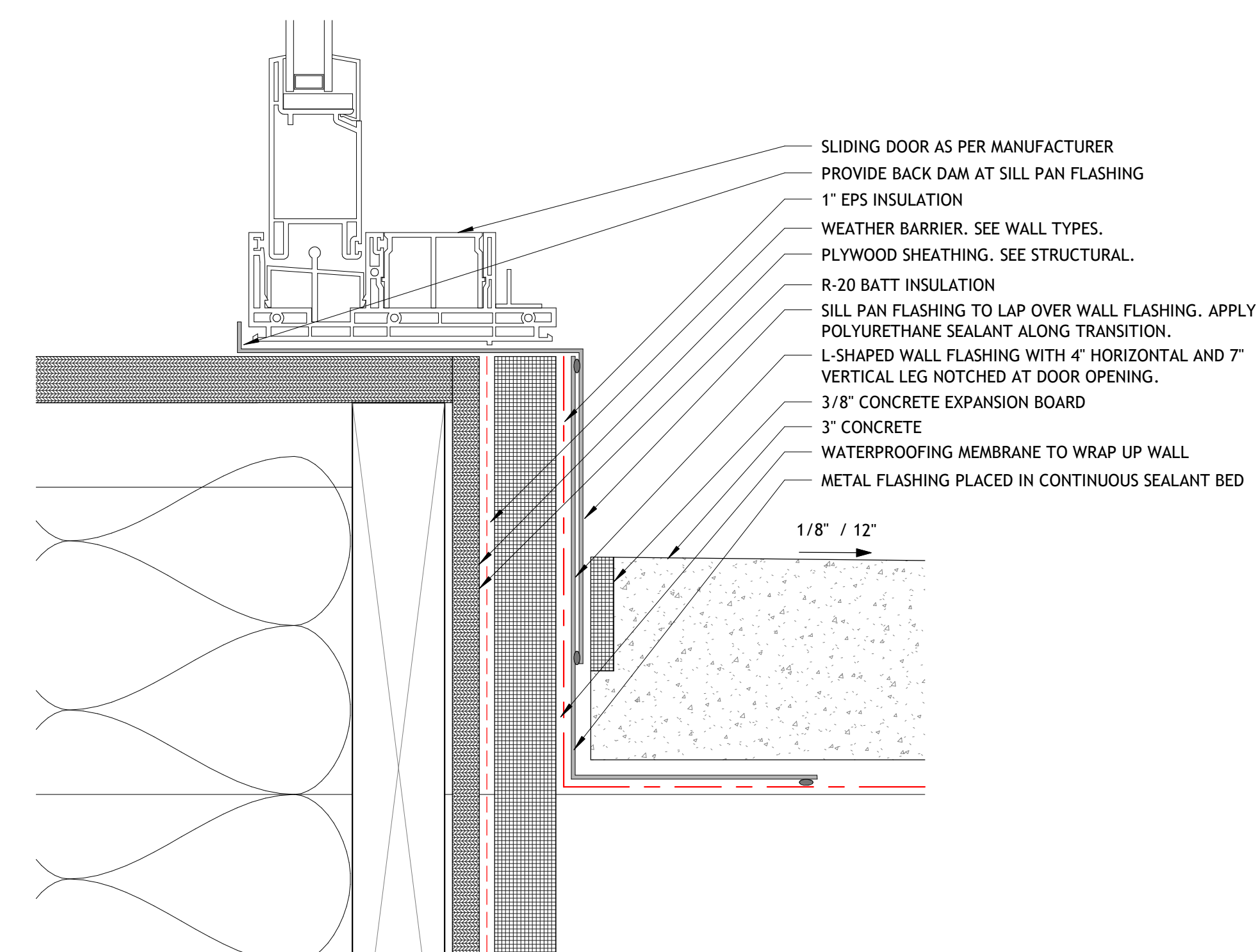
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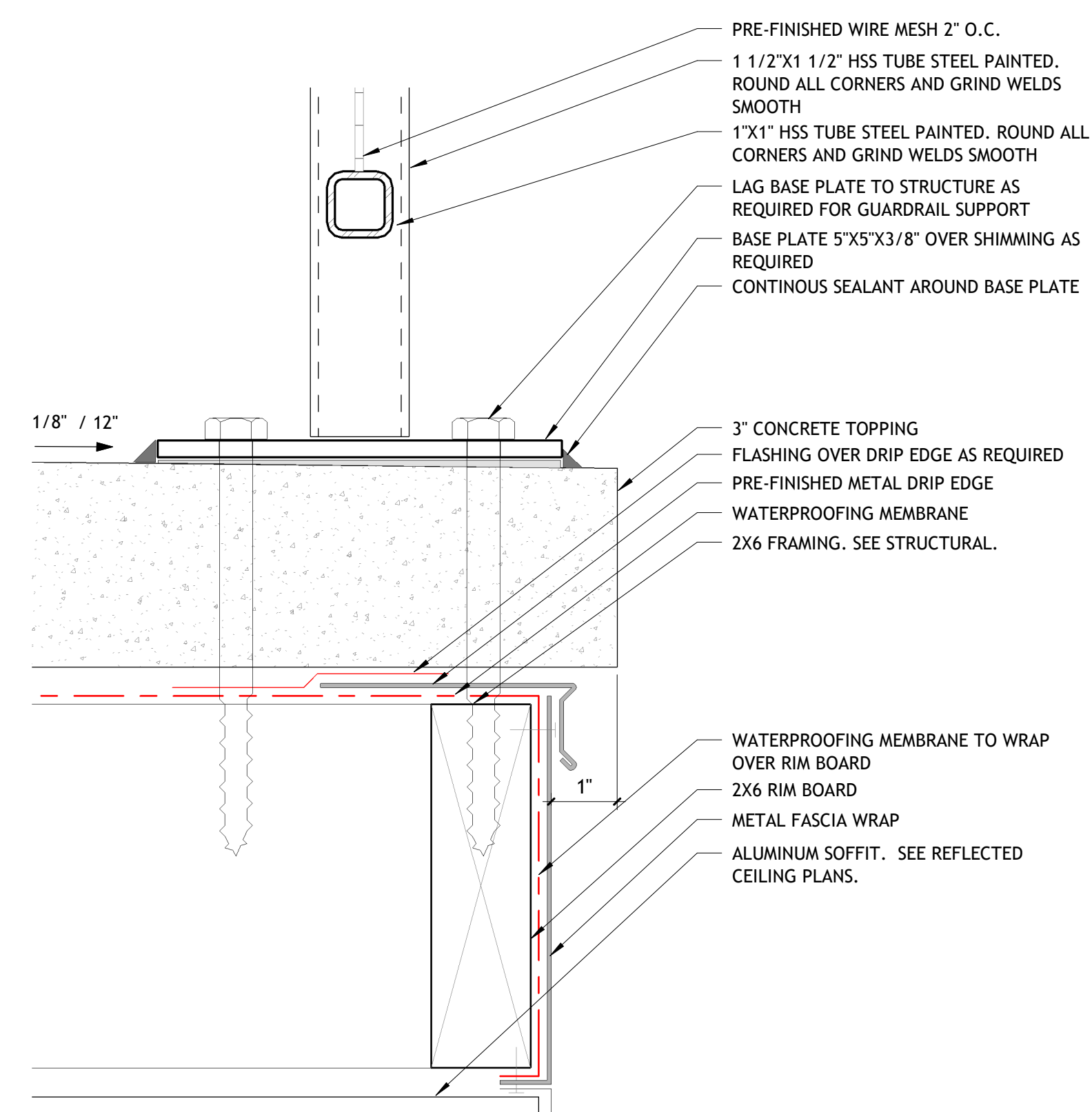
**ARCHITECTURAL DETAILS**

SHEET NUMBER

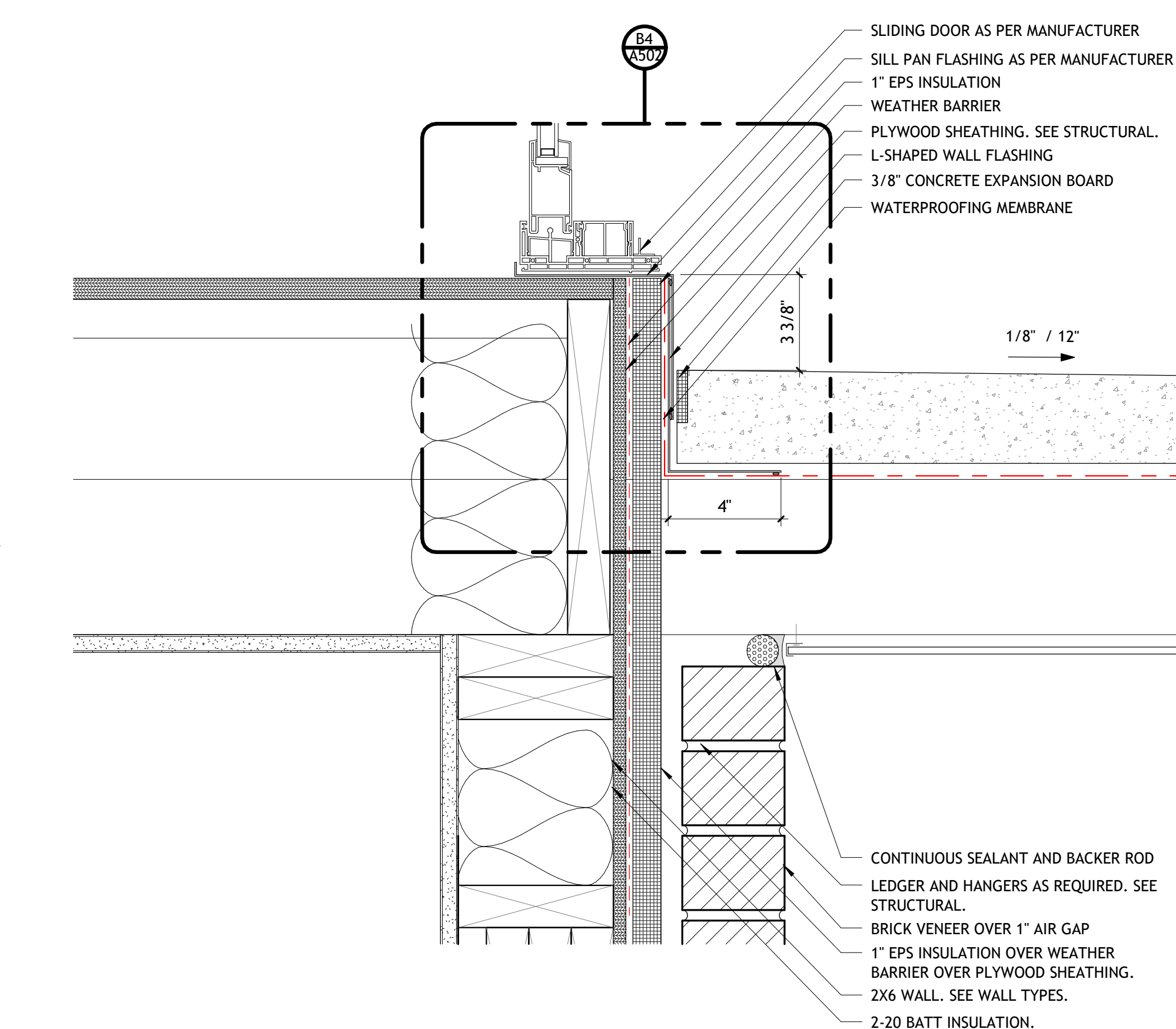
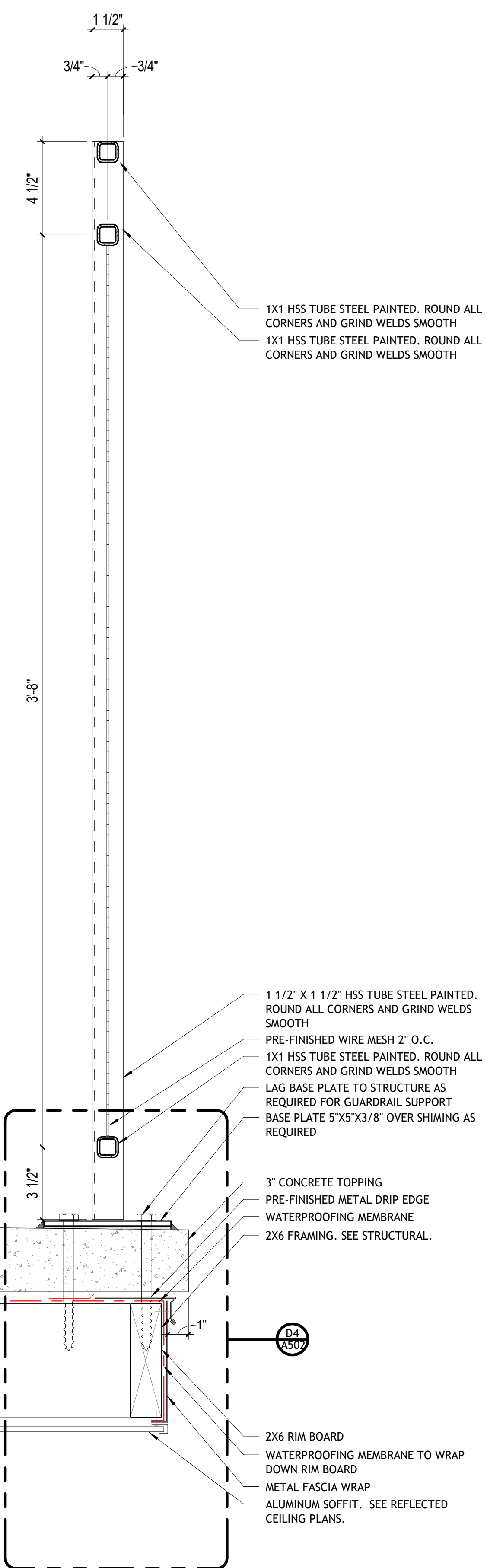
**A502**



**B4** DOOR THRESHOLD DETAIL  
A502 | SCALE: 6" = 1'-0"

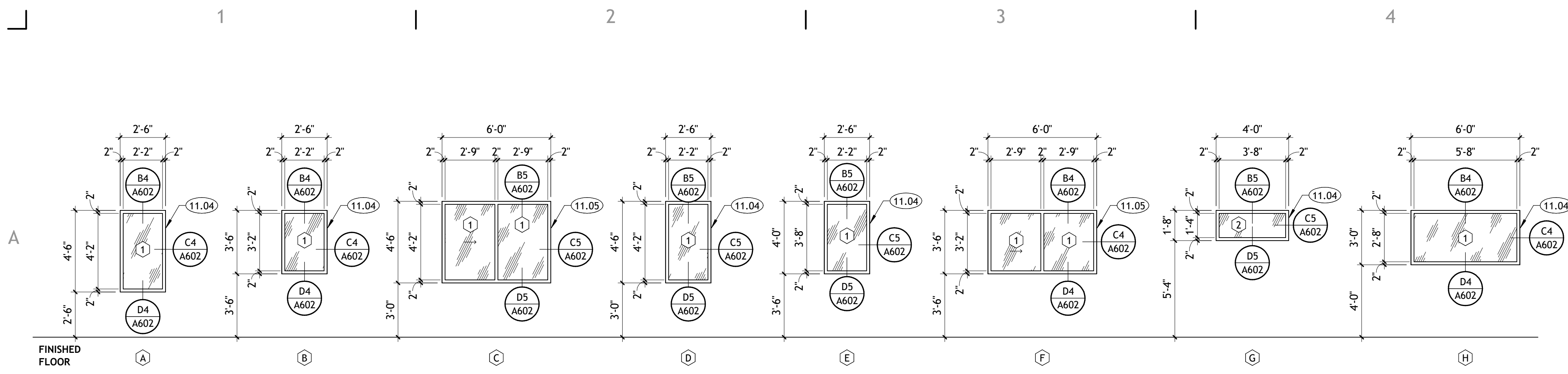


**D4** BALCONY EDGE DETAIL  
A502 | SCALE: 6" = 1'-0"

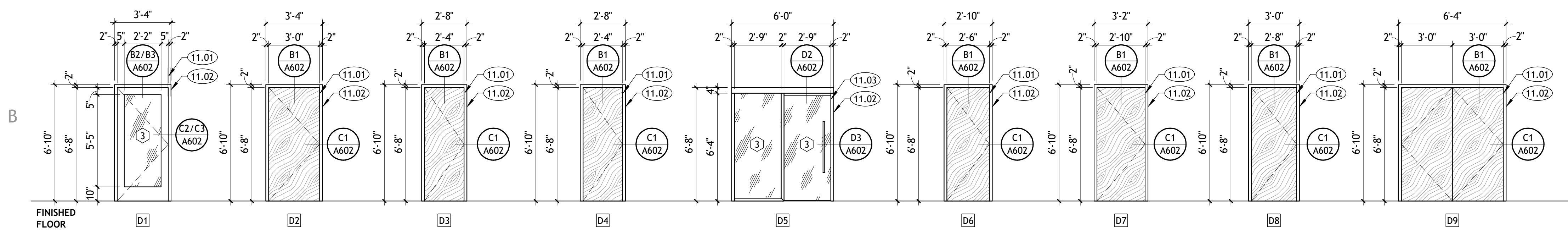


**D1** OVERALL BALCONY DETAIL  
A502 | SCALE: 3" = 1'-0"

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**A1 WINDOW TYPES**  
A601 | SCALE: 1/4" = 1'-0"



**B1 DOOR TYPES**  
A601 | SCALE: 1/4" = 1'-0"

DOOR SCHEDULE							COMMENTS
TYPE	DOOR SIZE		MATERIAL		HARDWARE	RATING	
D1	3'-0"	6'-8"	GLASS	WOOD	2		INSULATED
D2	3'-0"	6'-8"	WOOD	WOOD	1		
D3	2'-4"	6'-8"	WOOD	WOOD	1		
D4	2'-4"	6'-8"	WOOD	WOOD	1		
D5	6'-0"	6'-8"	GLASS	ALUM	3		INSULATED
D6	2'-6"	6'-8"	WOOD	WOOD	1		
D7	2'-10"	6'-8"	WOOD	WOOD	1		
D8	2'-8"	6'-8"	WOOD	WOOD	1		
D9	6'-0"	6'-8"	WOOD	WOOD	1		

**KEYNOTES**

- 11.01 DOOR SYSTEM, STYLE AND COLOR TO BE SELECTED BY OWNER.
- 11.02 DOOR TRIM, STYLE AND COLOR TO BE SELECTED BY OWNER.
- 11.03 SLIDING DOOR SYSTEM, STYLE AND COLOR TO BE SELECTED BY OWNER.
- 11.04 FIXED VINYL FRAMED WINDOW SYSTEM, STYLE AND COLOR TO BE SELECTED BY OWNER.
- 11.05 OPERABLE PANEL FOR SLIDING VINYL WINDOW SYSTEM. PROVIDE FIXED WINDOW SCREEN AT OPERABLE PANEL.



233 SOUTH PLEASANT GROVE BLVD.  
SUITE #105  
PLEASANT GROVE, UTAH 84062  
PHONE: (801) 769-3000  
core@corearch.com

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PROFESSIONAL STAMP

NOT FOR CONSTRUCTION

CONSULTANT INFORMATION

**SET: 1**

- 3 HINGE
- 3 SILENCERS
- 1 WALL STOP

**SET: 2**

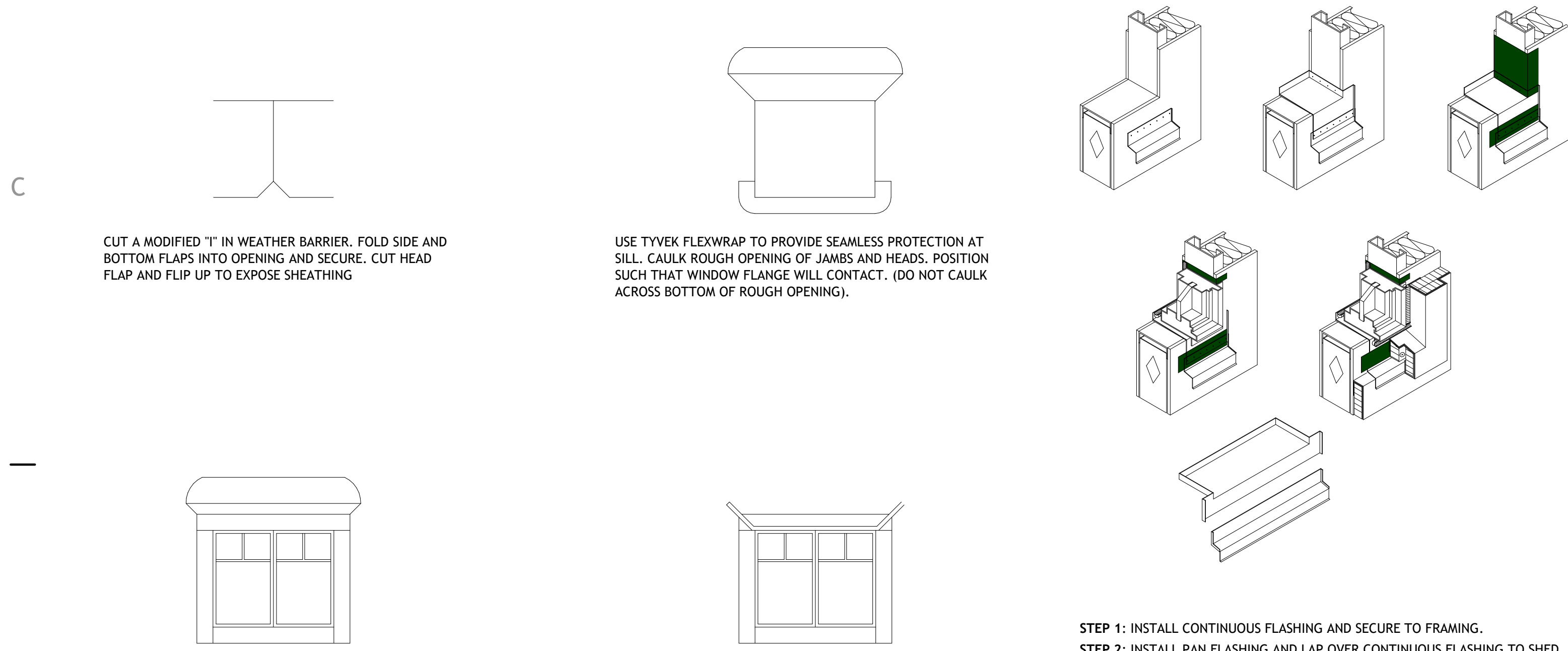
- 3 HINGE
- 1 KICK PLATE
- 1 WALL STOP
- 1 SWEEP
- 1 WEATHERSTRIPPING

**SET: 3**

- PER SLIDING GLASS DOOR MANUFACTURER

**GLAZING SCHEDULE**

- ① 3/4" INSULATED, CLEAR LOW-E GLASS, U-VALUE = 0.30 OR BETTER, SOLAR HEAT GAIN COEFFICIENT = 0.30 OR BETTER.
- ② 3/4" INSULATED TEMPERED, CLEAR LOW-E GLASS, U-VALUE = 0.30 OR BETTER, SOLAR HEAT GAIN COEFFICIENT = 0.30 OR BETTER.
- ③ 3/4" INSULATED TEMPERED, CLEAR LOW-E GLASS PANEL INSERT PER DOOR MANUFACTURER, U-VALUE = 0.30 OR BETTER, SOLAR HEAT GAIN COEFFICIENT = 0.30 OR BETTER.



CUT A MODIFIED "T" IN WEATHER BARRIER. FOLD SIDE AND BOTTOM FLAPS INTO OPENING AND SECURE. CUT HEAD FLAP AND FLIP UP TO EXPOSE SHEATHING

USE TYVEK FLEXWRAP TO PROVIDE SEAMLESS PROTECTION AT SILL. CAULK ROUGH OPENING OF JAMBS AND HEADS. POSITION SUCH THAT WINDOW FLANGE WILL CONTACT. (DO NOT CAULK ACROSS BOTTOM OF ROUGH OPENING).

AFTER INSTALLING WINDOW PER MANUFACTURER'S INSTRUCTIONS, PROTECT JAMBS AND HAS WITH TYVEK STRAIGHTFLASH OR TYVEK FLEXWRAP.

FLIP HEAD WRAP DOWN AND SECURE WITH TAPE CAULK REAR WINDOW SEAL.

STEP 1: INSTALL CONTINUOUS FLASHING AND SECURE TO FRAMING.  
STEP 2: INSTALL PAN FLASHING AND LAP OVER CONTINUOUS FLASHING TO SHED MOISTURE. SHIM UNDERSIDE OF FLASHING TO ENSURE WATER RUN OFF.

STEP 3: APPLY FLASHING TAPE OVER METAL FLASHING TRANSITION AND AT JAMBS LAPPING OVER UPTURNED LEGS OF PAN FLASHING.

STEP 4: INSTALL WINDOW UNIT.  
STEP 5: INSTALL EIFS AND APPLY BACKER ROD AND SEALANT ALONG JAMBS AND AT SYSTEM TERMINATION, ALSO ALONG EDGES OF FLASHING.

**NOTE:**  
1. FLASHING SHOULD OVER LPA EIFS MINIMUM 2 1/2" MEASURED FROM THE TO OF THE EPS.  
2. PAN FLASHING MUST HAVE WATERTIGHT SEAMS.  
3. MECHANICAL FASTENERS SHOULD BE USED TO ATTACHED SILL TRIM PIECE.  
4. EIFS AT SILL SHALL BE SLOPED FOR DRAINAGE.

**ADDITIONAL INSTRUCTIONS**

- A. WIPE SURFACE TO REMOVE MOISTURE, DIRT, GREASE, AND OTHER DEBRIS THAT COULD INTERFERE WITH ADHESION.
- B. APPLY PRESSURE ALONG ENTIRE SURFACE TO ACHIEVE A GOOD BOND.
- C. REMOVE ALL WRINKLES AND BUBBLES BY SMOOTHING SURFACE AND REPOSITION AS NECESSARY.
- D. FOR ADDITIONAL GUIDELINES, RECOMMENDED CAULKS AND PRIMERS CALL 1-800-44 TYVEK.

**D1 TYVEK FLASHING SYSTEM**  
A601 | SCALE: 1/4" = 1'-0"

**D3 PREP FOR NAIL-ON WINDOW**  
A601 | SCALE: 3/4" = 1'-0"

PROJECT TITLE AND ADDRESS  
**EUCLID TOWNHOMES**

922 EUCLID AVENUE, SALT LAKE CITY, UT 84104

**REVISIONS**

Δ DESCRIPTION	DATE

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**DRAWING SET STATUS**  
**CONSTRUCTION DOCUMENTS**

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SHEET TITLE

**DOOR AND WINDOWS**

SHEET NUMBER

**A601**

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**CONSTRUCTION DOCUMENTS**

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SHEET TITLE

**DOOR & WINDOW DETAILS**

SHEET NUMBER

**A602**

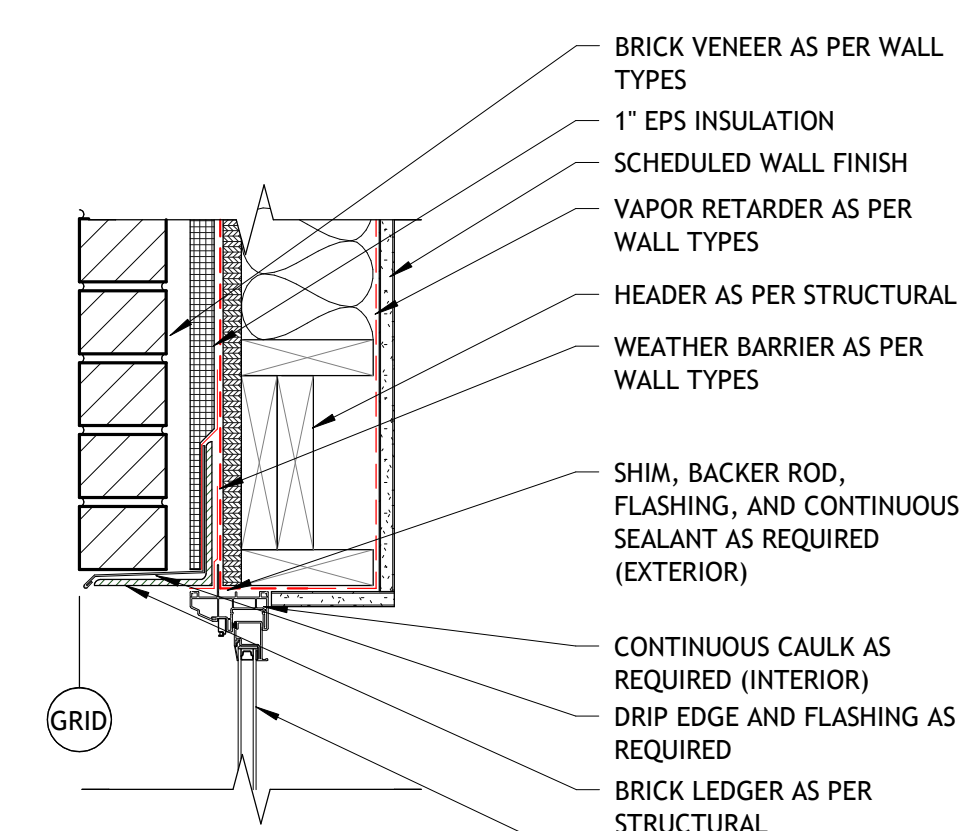
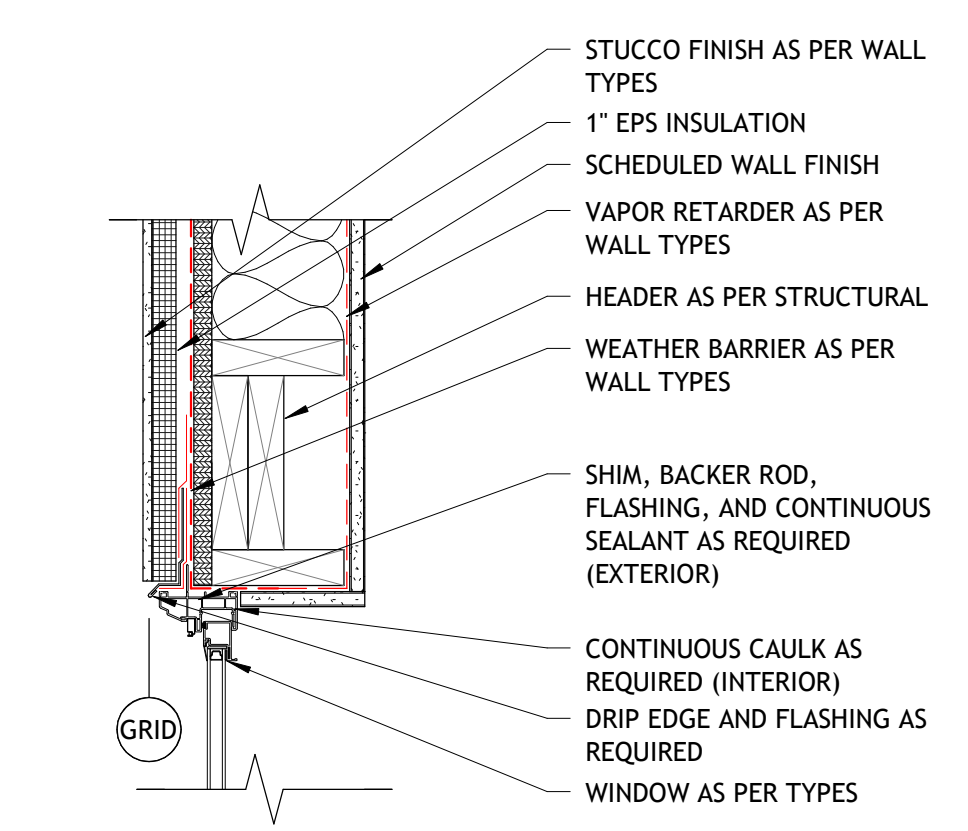
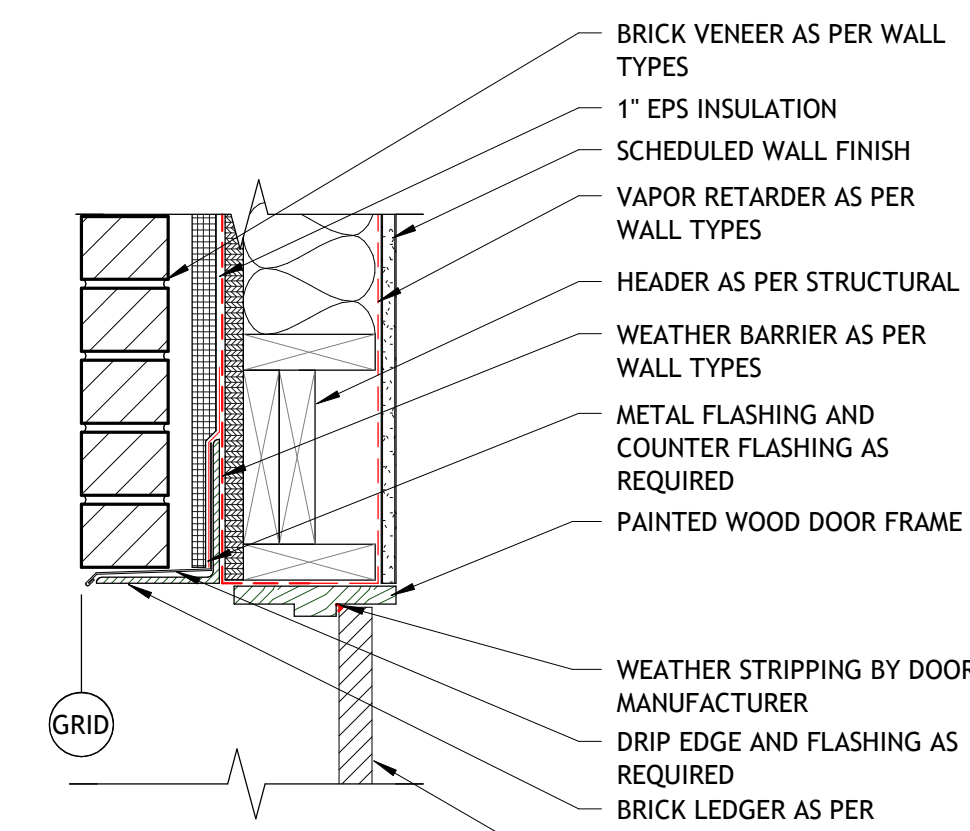
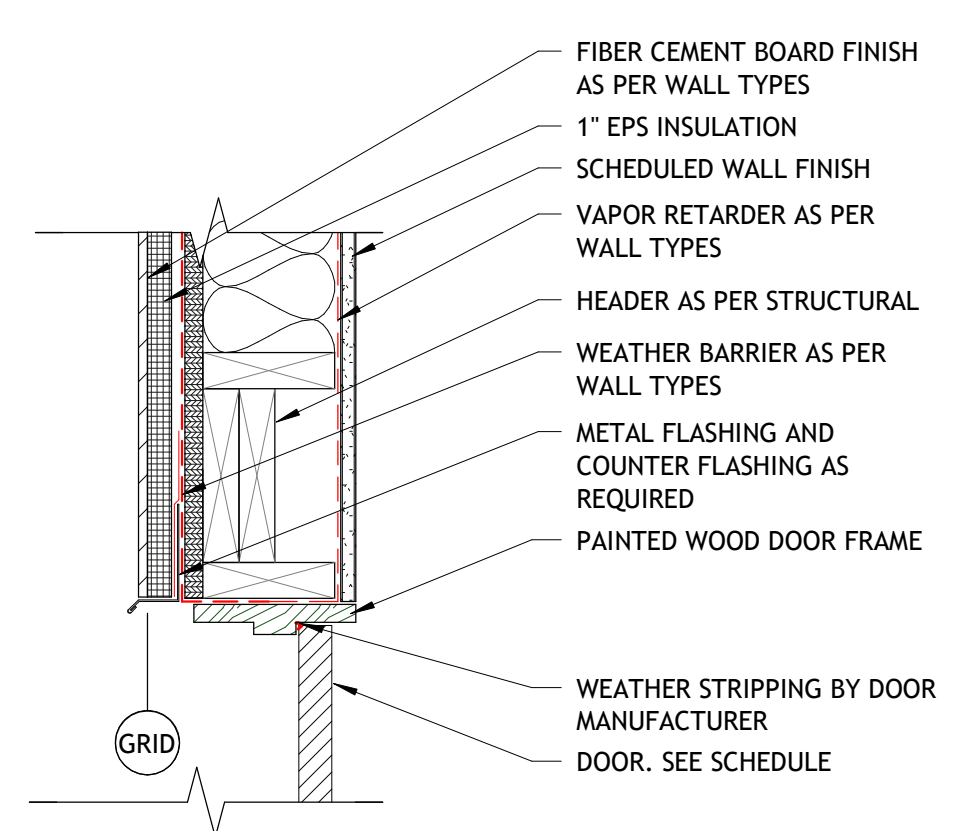
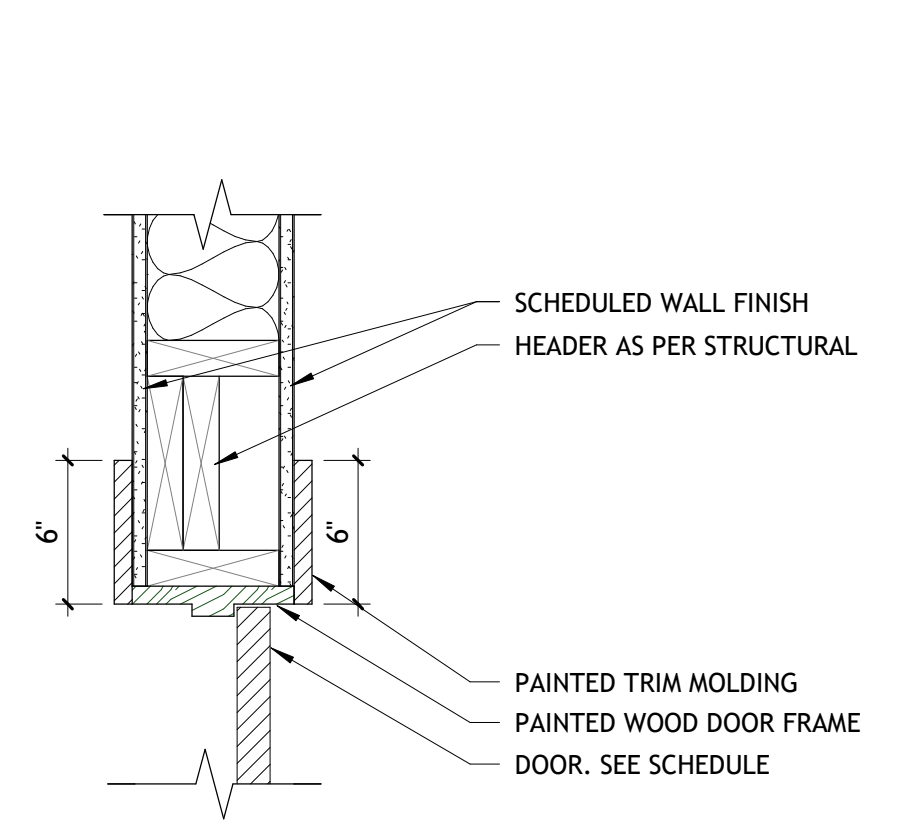
1 | 2 | 3 | 4 | 5 | 6

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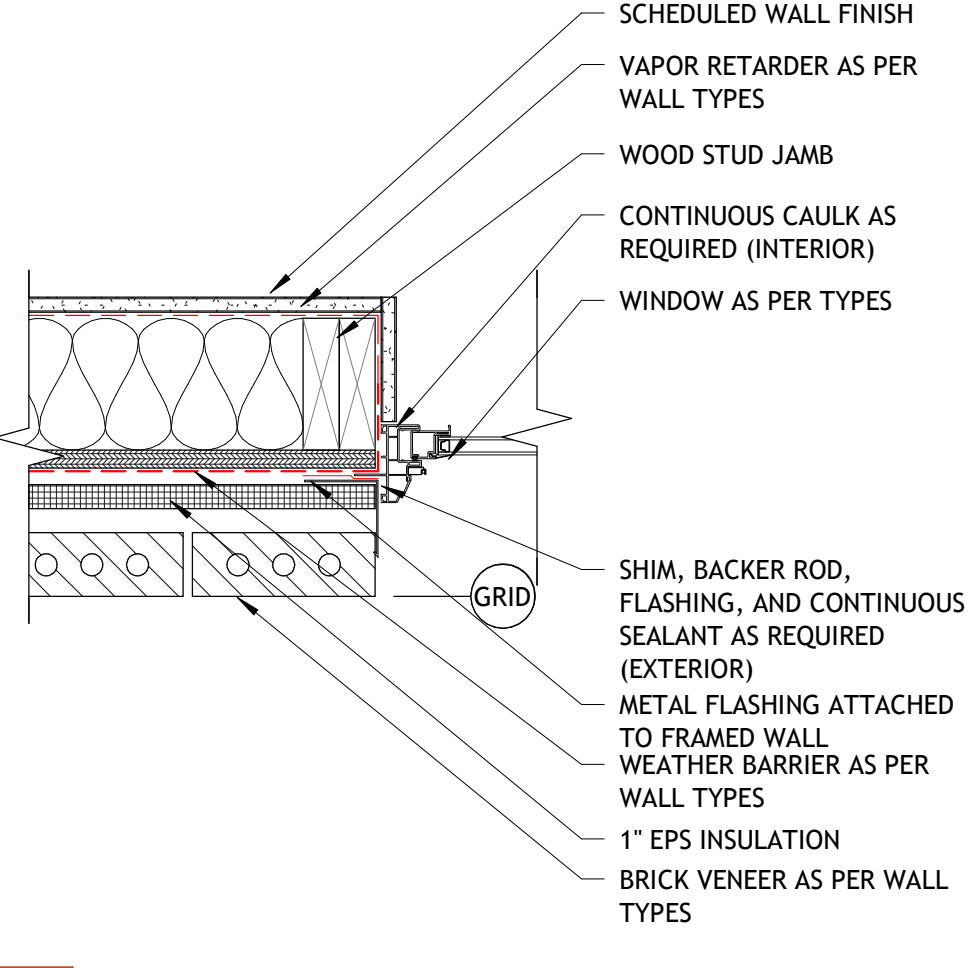
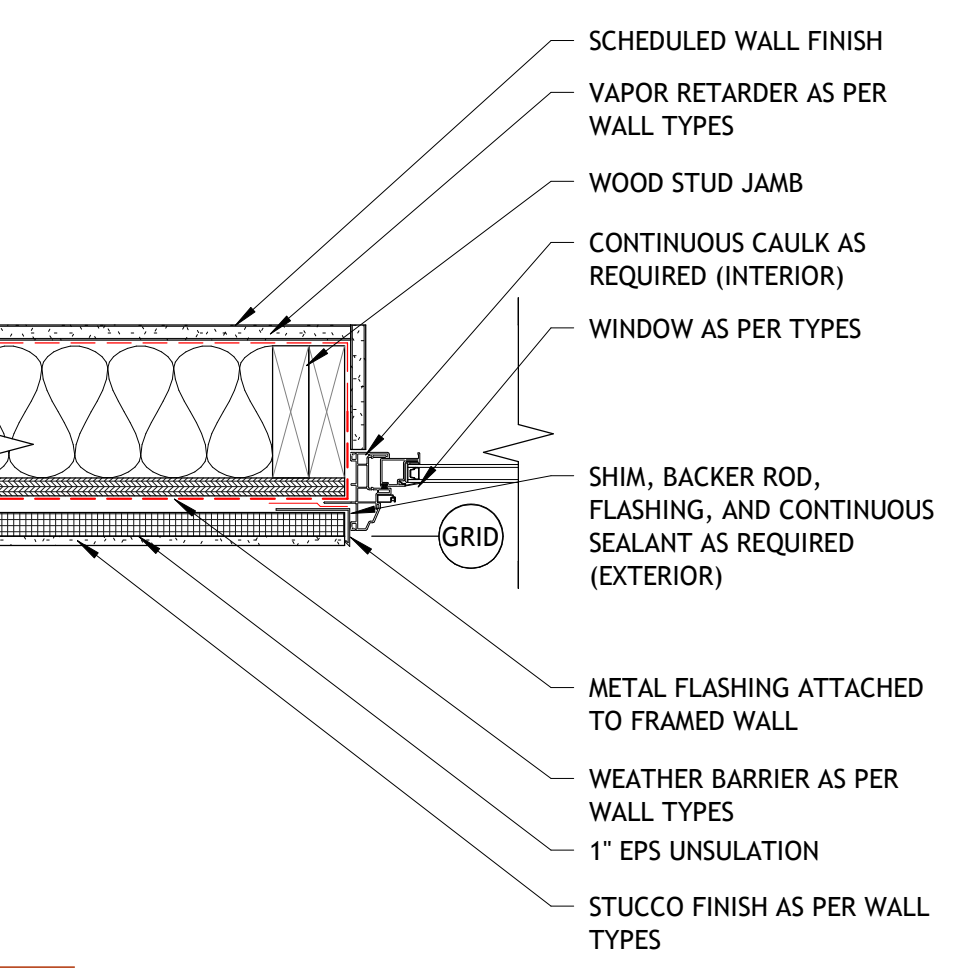
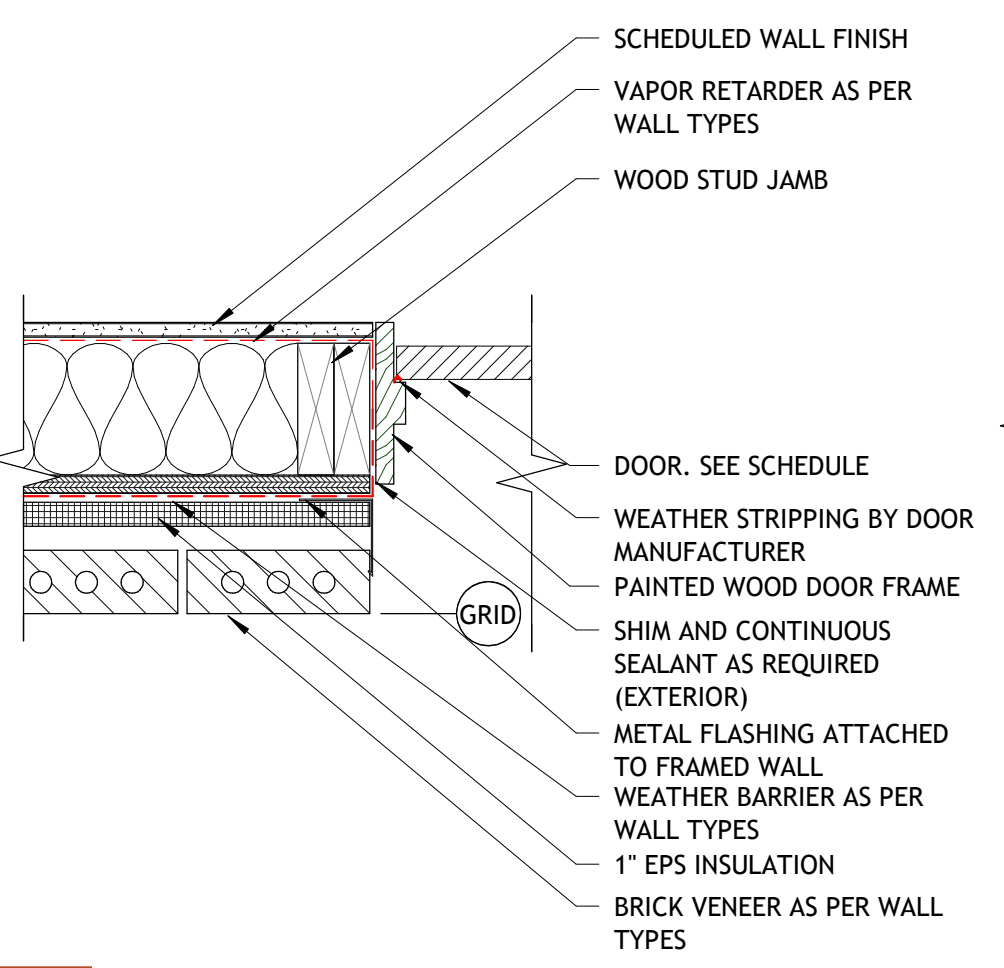
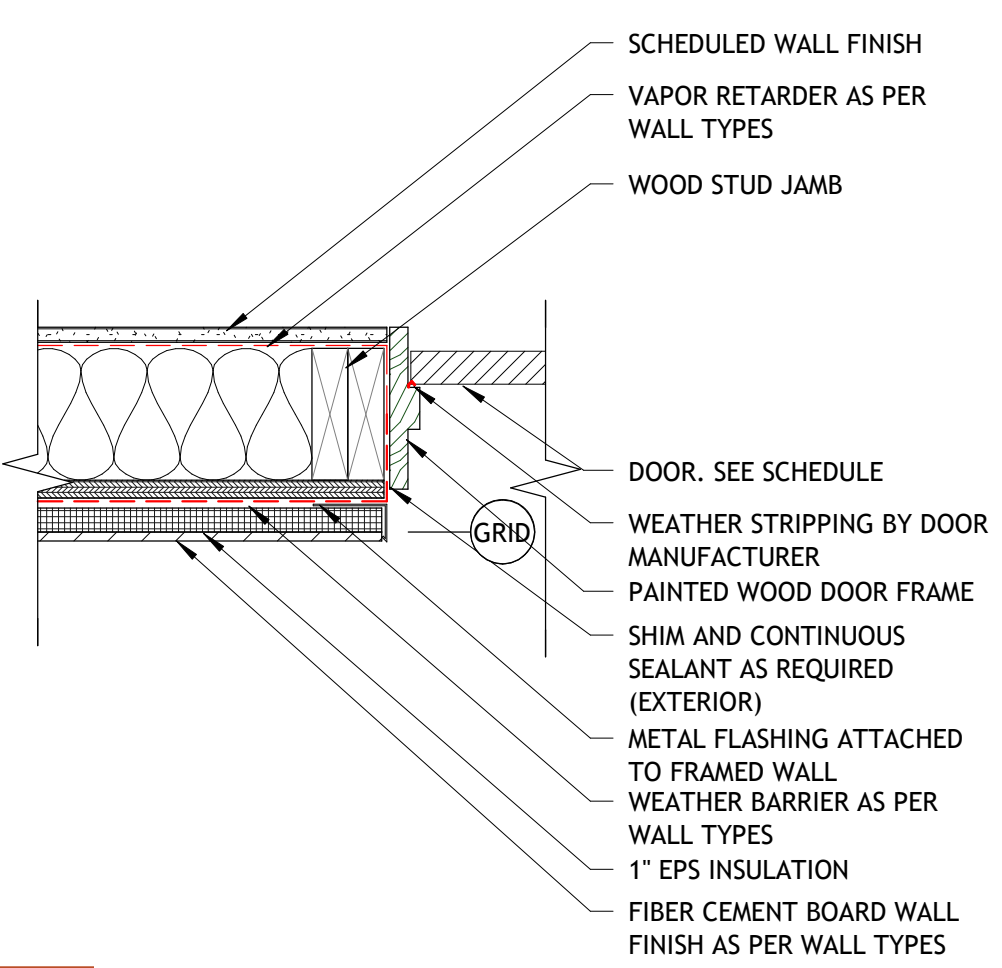
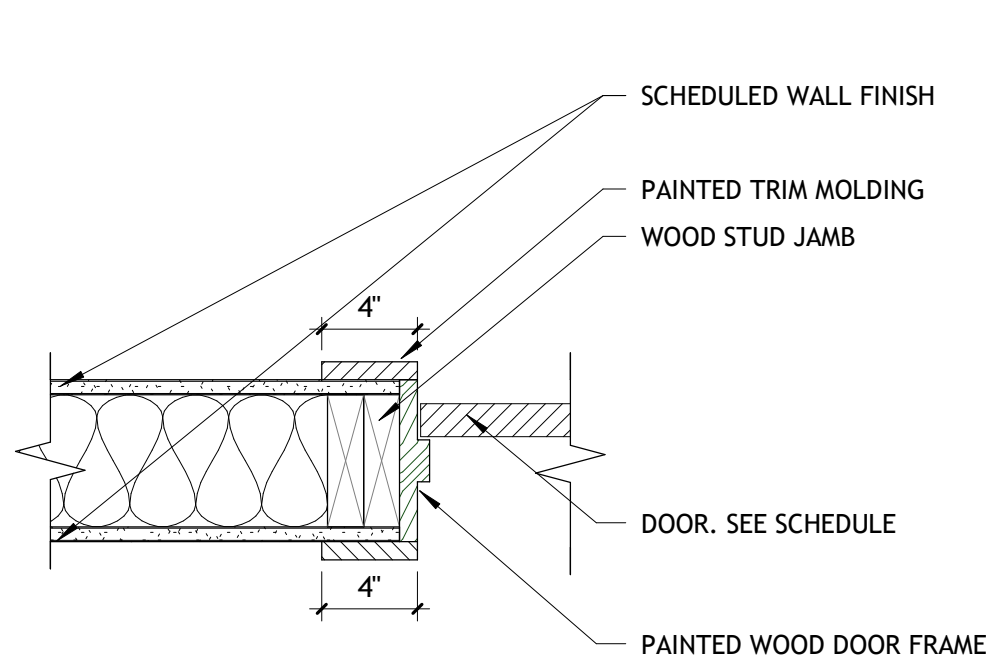
**B1 WOOD DOOR HEAD DETAIL**  
A602 | SCALE: 1 1/2" = 1'-0"

**B2 WOOD DOOR HEAD DETAIL - FCB**  
A602 | SCALE: 1 1/2" = 1'-0"

**B3 WOOD DOOR HEAD DETAIL - BRICK**  
A602 | SCALE: 1 1/2" = 1'-0"

**B4 VINYL WINDOW HEAD DETAIL - STUCCO**  
A602 | SCALE: 1 1/2" = 1'-0"

**B5 VINYL WINDOW HEAD DETAIL - BRICK**  
A602 | SCALE: 1 1/2" = 1'-0"



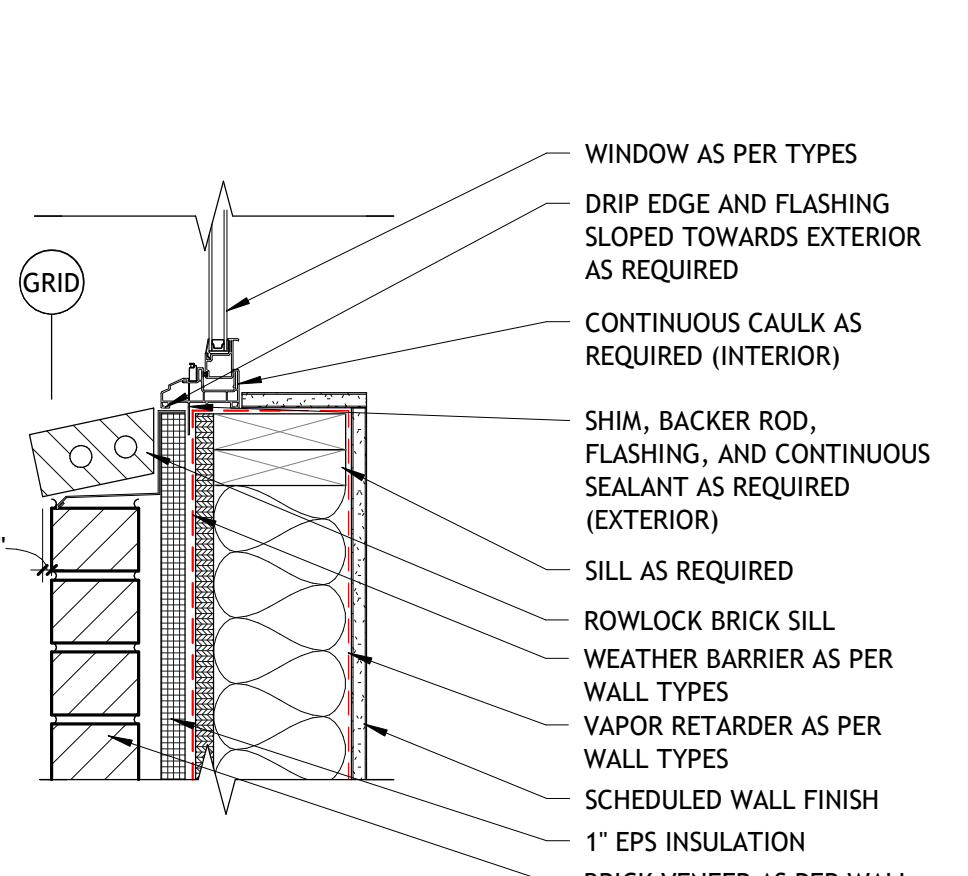
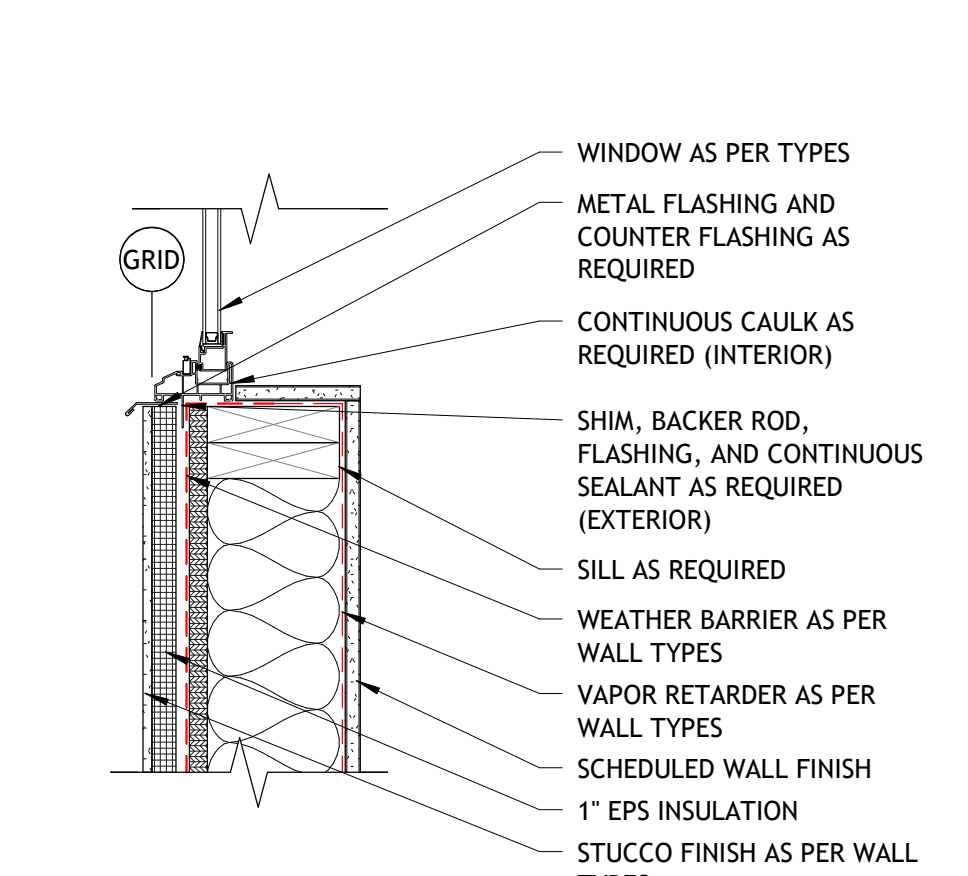
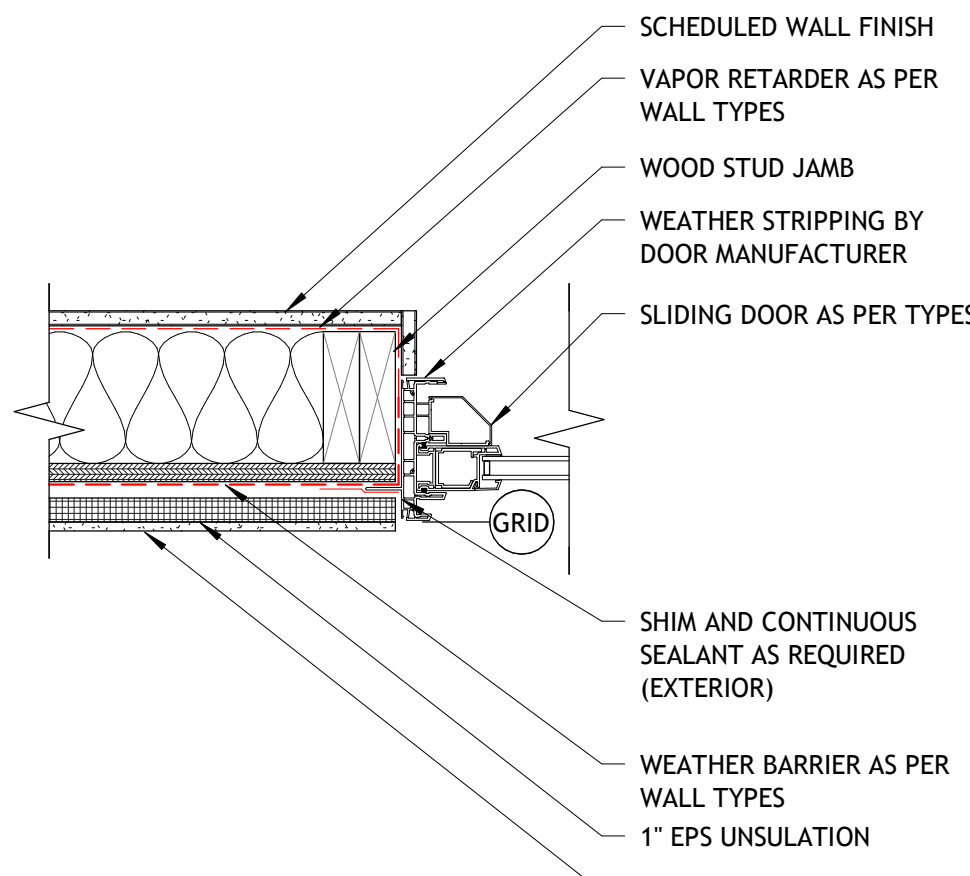
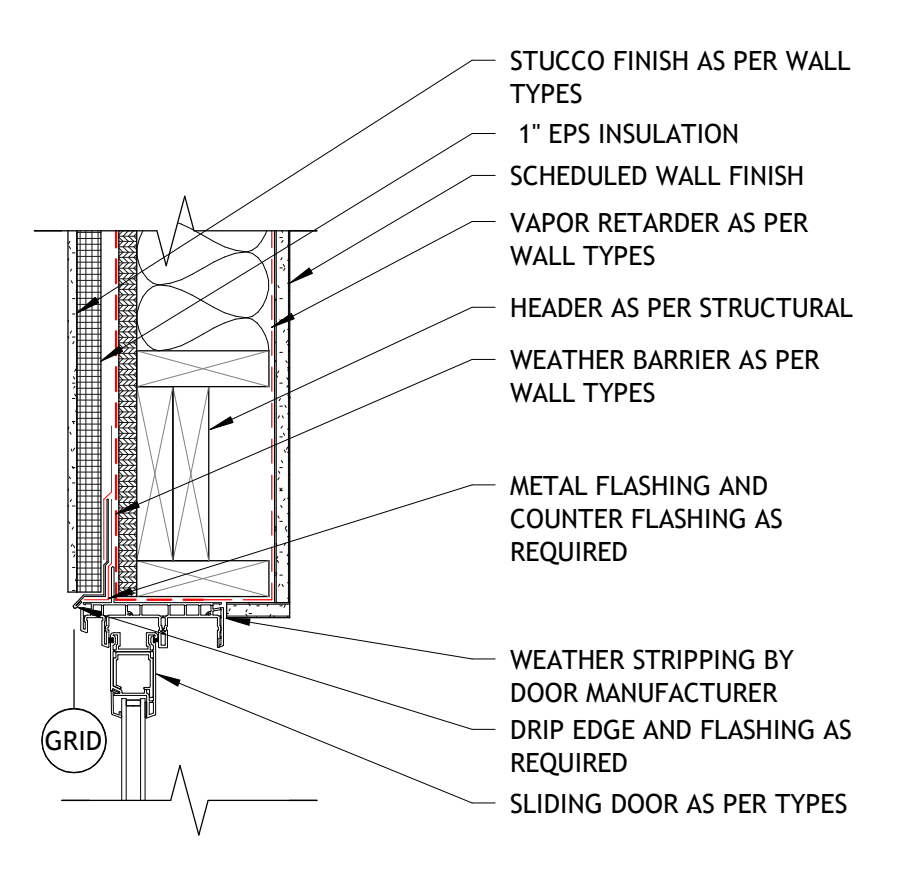
**C1 WOOD DOOR JAMB DETAIL**  
A602 | SCALE: 1 1/2" = 1'-0"

**C2 WOOD DOOR JAMB DETAIL - FCB**  
A602 | SCALE: 1 1/2" = 1'-0"

**C3 WOOD DOOR JAMB DETAIL - BRICK**  
A602 | SCALE: 1 1/2" = 1'-0"

**C4 VINYL WINDOW JAMB DETAIL - STUCCO**  
A602 | SCALE: 1 1/2" = 1'-0"

**C5 VINYL WINDOW JAMB DETAIL - BRICK**  
A602 | SCALE: 1 1/2" = 1'-0"



**D2 ALUMINUM DOOR HEAD DETAIL - STUCCO**  
A602 | SCALE: 1 1/2" = 1'-0"

**D3 ALUMINUM DOOR JAMB DETAIL - STUCCO**  
A602 | SCALE: 1 1/2" = 1'-0"

**D4 VINYL WINDOW SILL DETAIL - STUCCO**  
A602 | SCALE: 1 1/2" = 1'-0"

**D5 VINYL WINDOW SILL DETAIL - BRICK**  
A602 | SCALE: 1 1/2" = 1'-0"

**GENERAL NOTES**

- THE CONTRACTOR IS TO VERIFY THE DIMENSIONS OF ALL OPENINGS PRIOR TO THE FABRICATION OF ALL DOORS AND FRAMES.
- DUE TO MULTIPLE USE, SOME OF THE DETAILS REFERRED TO ON THE DOOR SCHEDULE ARE REVERSED OR TURNED FROM THE DIRECTION SHOWN ON THE FLOOR PLANS. THE INTENT OF THE DETAILS IS TO BE FOLLOWED. CONSULT THE ARCHITECT WHEN QUESTIONS ARISE.
- CAULK HEAD, JAMBS, AND SILLS OF ALL DOORS AND WINDOWS WITH SEALANT CONTINUOUSLY APPLIED TO BOTH SIDES OF THE FRAMES.
- COORDINATE KEYING TYPE AND SCHEDULE WITH OWNER.

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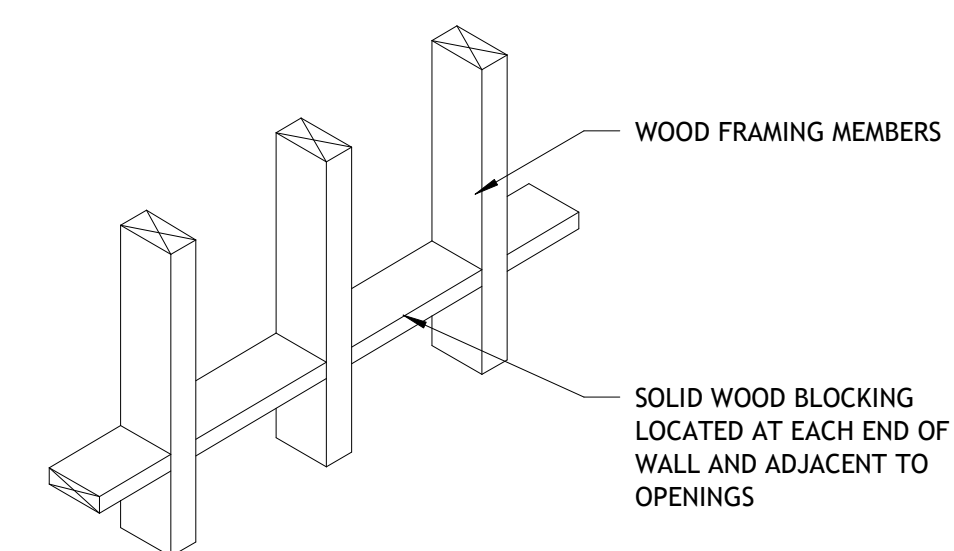
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**MISCELLANEOUS DETAILS**

SHEET NUMBER

**A701**

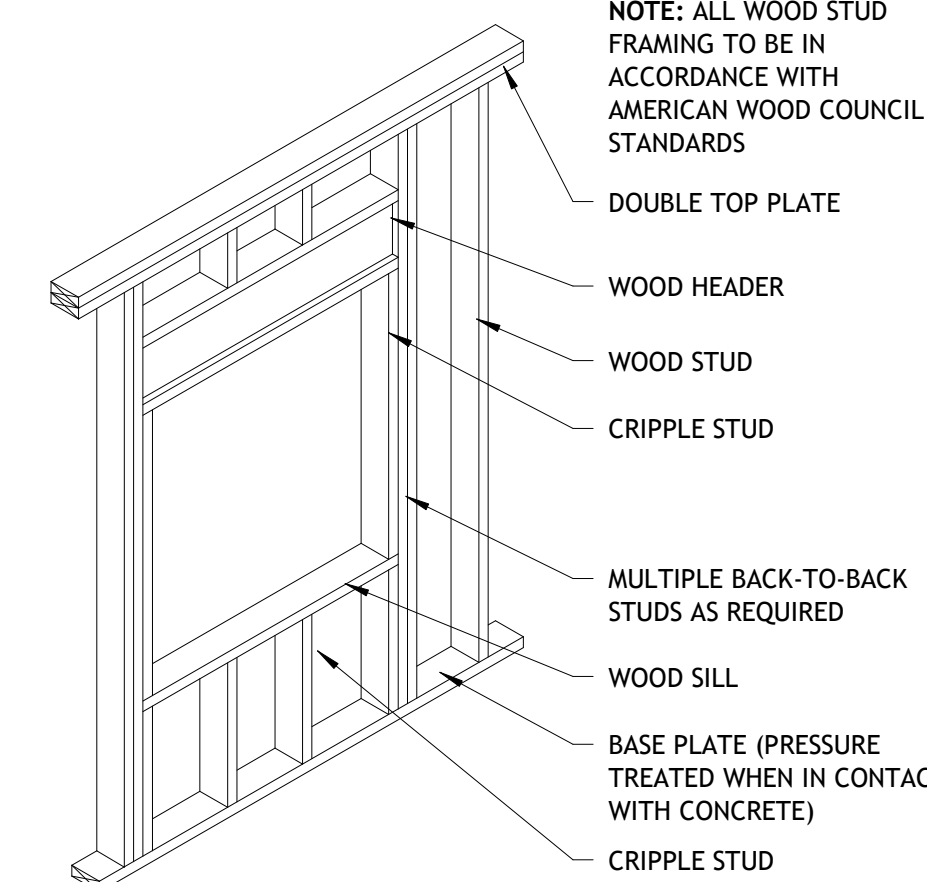
NOTE: ALL WOOD STUD FRAMING TO BE IN ACCORDANCE WITH AMERICAN WOOD COUNCIL STANDARDS



**B5** WOOD STUD BLOCKING DETAIL

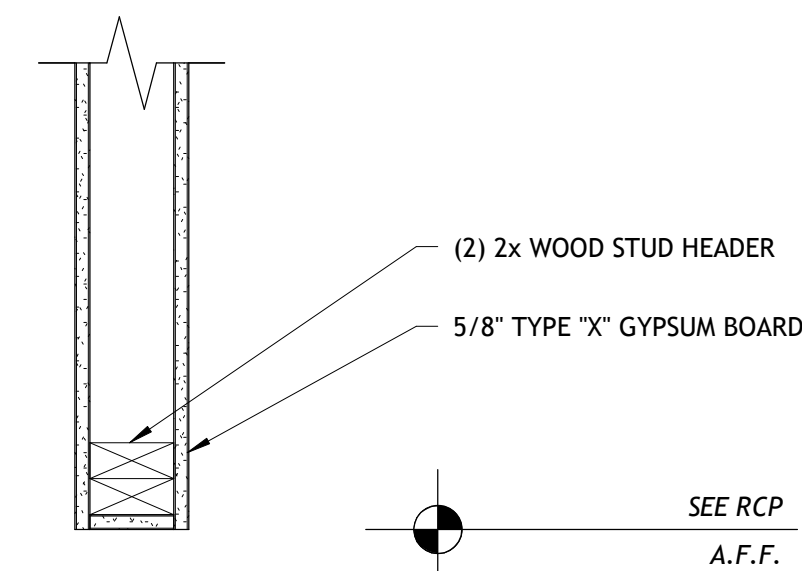
A701 | SCALE: NOT TO SCALE

NOTE: ALL WOOD STUD FRAMING TO BE IN ACCORDANCE WITH AMERICAN WOOD COUNCIL STANDARDS



**C5** WOOD STUD FRAMING WINDOW DETAIL

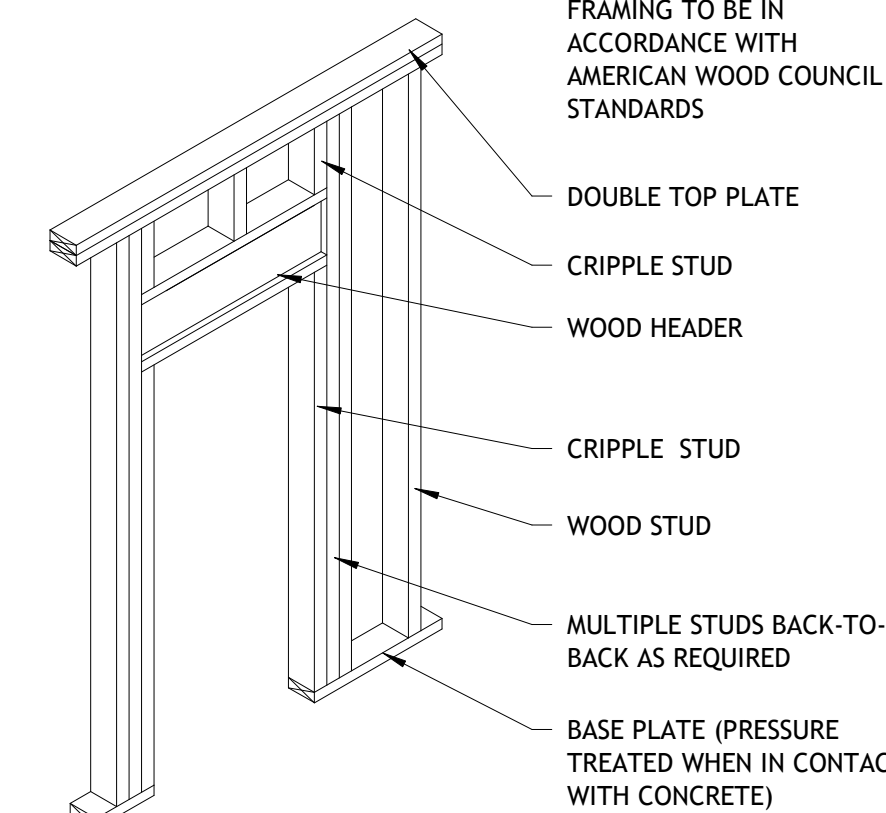
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**C4** HEADER DETAIL

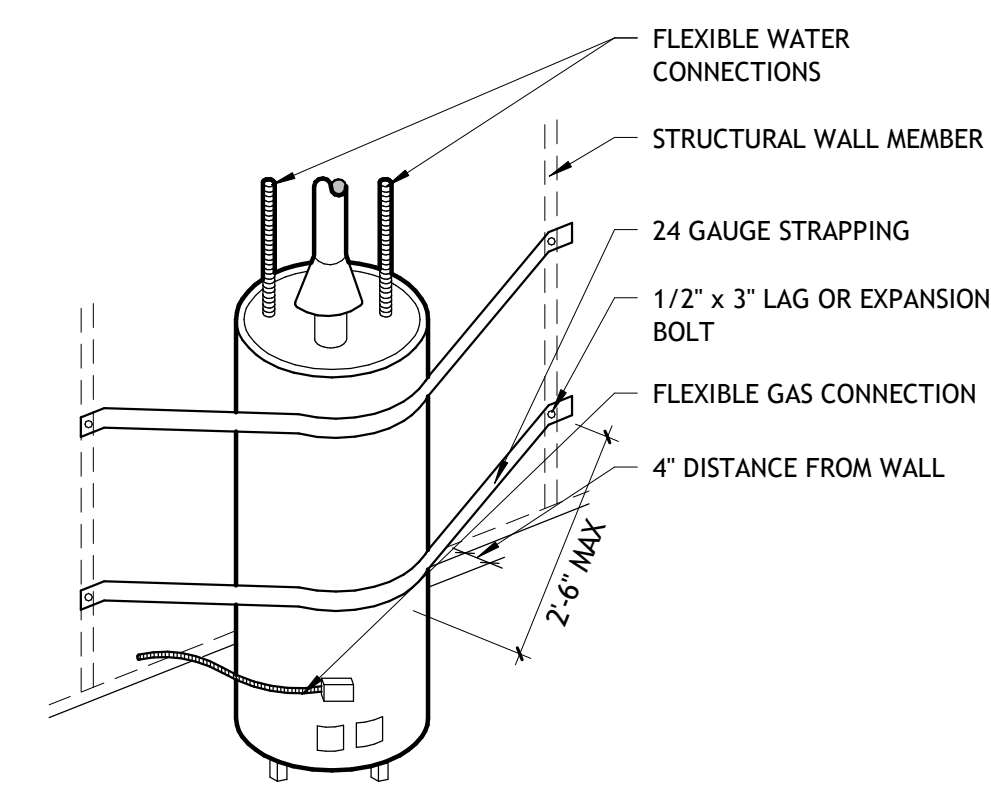
A701 | SCALE: 1 1/2" = 1'-0"

NOTE: ALL WOOD STUD FRAMING TO BE IN ACCORDANCE WITH AMERICAN WOOD COUNCIL STANDARDS



**D5** WOOD STUD FRAMING DOOR DETAIL

A701 | SCALE: NOT TO SCALE



NOTE: FILL SPACE BETWEEN WATER HEATER AND WALL WITH 2X BLOCKING WITH CUSHIONED FACE.

**D4** SEISMIC WATER HEATER DETAIL

A701 | SCALE: 1/2" = 1'-0"

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